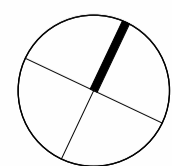


BLOCKS 4 & 5 SECTION 38 CAMPBELL
MASTERPLAN



LOCATION PLAN

The site is located on Limestone Avenue, a Main Avenue of the National Capital, with importance as one of the main approaches to the Australian War Memorial and Anzac Parade.

The site is at the base of Mount Ainslie and has a native landscape setting.

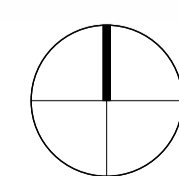
A variety of land uses surround the site including Campbell High School to the south and Ainslie Village to the east.

Low to medium density housing is located to the west and north of the site; the northern housing separated by a landscape space designated 'Hills, Ridges and Buffer Areas' zone.

With close proximity to the city centre, the site provides perfect opportunity for increased residential population in the central area of Canberra; allowing for diverse living opportunities within the existing urban areas of Canberra.



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BLOCKS 4 & 5 SECTION 38 CAMPBELL
SITE ANALYSIS

The site has fall of approximately 16m from the centre of the site down to Limestone Avenue. The top of the site is generally flat.

Primary access to the site must be maintained from Limestone Avenue. Informal access is currently provided from the east of the site. Future design development may allow for this access point to be updated to allow for secure resident access.

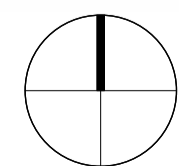
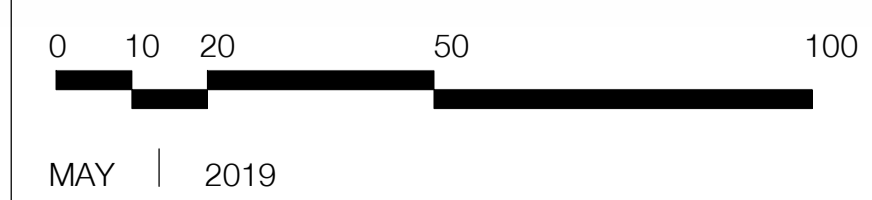
Existing development includes extensive surface hardstand and buildings varying from 1 to 6 storeys.

An underground HV line transverses the site with connection to an existing chamber substation. This line will be relocated within the site.

Prevailing winter winds are from the north west and should be mitigated where possible in future development.

A pedestrian route on Territory land between Hayley Street and Campbell High School (CHS) must be maintained in future development.

The DCP nominates Landscape Zones to each boundary.



BLOCKS 4 & 5 SECTION 38 CAMPBELL
 DESIGN CONCEPT

The design concept envisages a medium density residential precinct which provides a mix of dwelling typologies including townhouses and apartments thereby providing a variety housing choices for the community. A high level of communal facilities may be provided including concierge, health club, outdoor pools, tennis court, playgrounds and general landscaped recreation space.

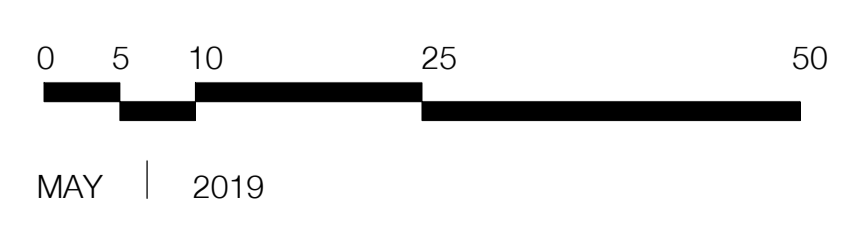
An appropriate site layout and strong urban design response enhances the character of Limestone Avenue as a main approach to the Australian War Memorial and Anzac Parade. The Limestone Avenue frontage is articulated by a variety of buildings within a landscape setting, stepping up the hill.

Buildings are arranged within the site to address the topography and optimize solar access, interface and outlook. Building separation provides space for functional open space and excellent solar access to the public realm – allowing creation of high quality communal spaces. Possible overlooking of the Campbell High School grounds is minimised through building orientation, massing and extensive perimeter landscape treatment. The result is a precinct with a carefully considered pattern of development that avoids monotony.

Car parking is carefully integrated within the footprint of buildings to minimise impact to the land, and maximise deep-root planting zones throughout the site. Building height is varied across the site as necessary to provide appropriate interface (including between apartments and townhouses) and minimise overshadowing of adjacent properties



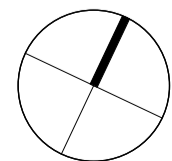
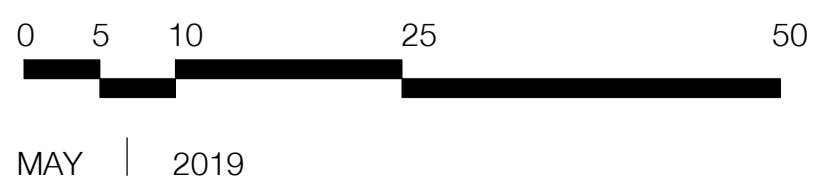
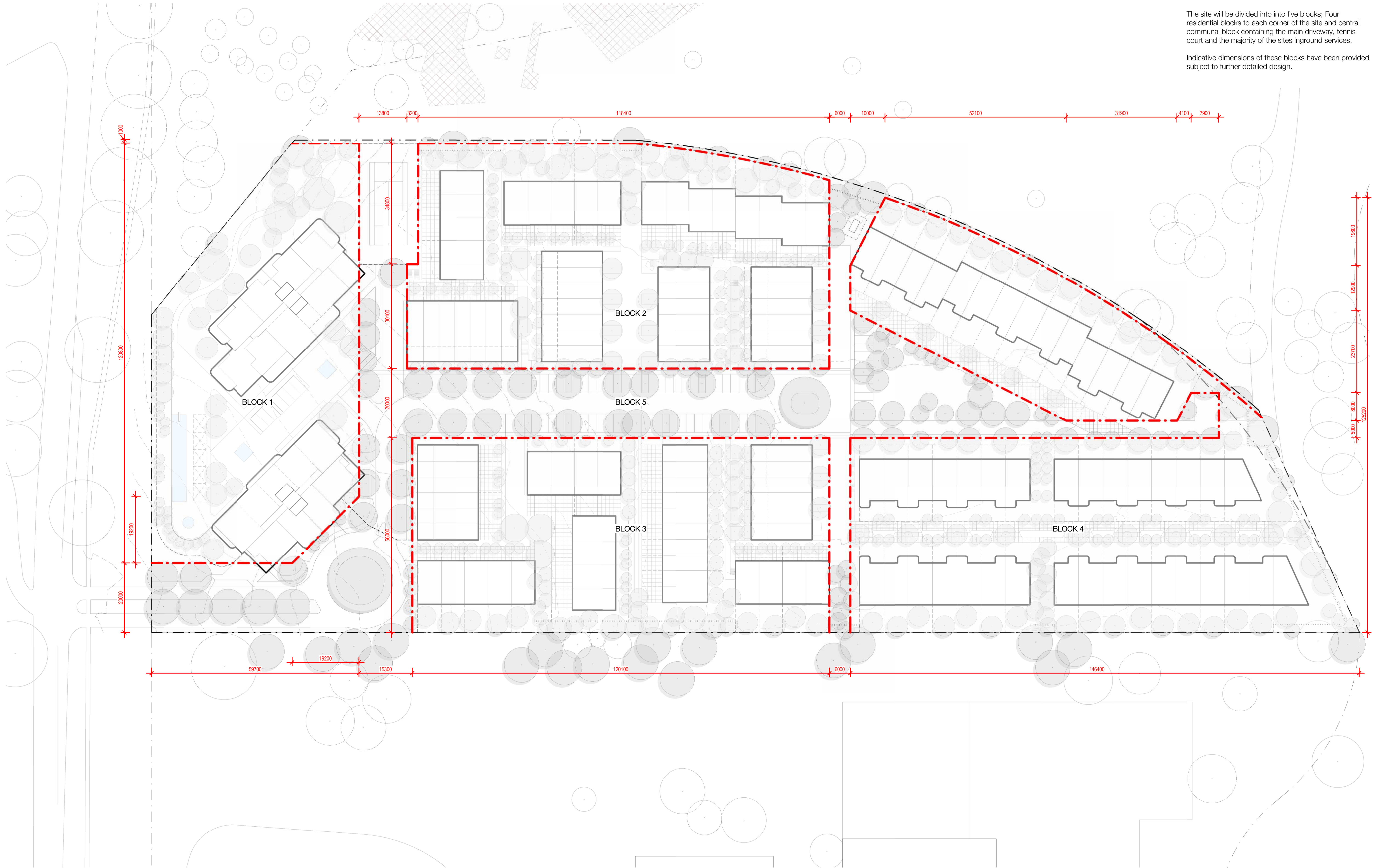
HILLS, RIDGES AND BUFFER AREAS ZONE



BLOCK PLAN

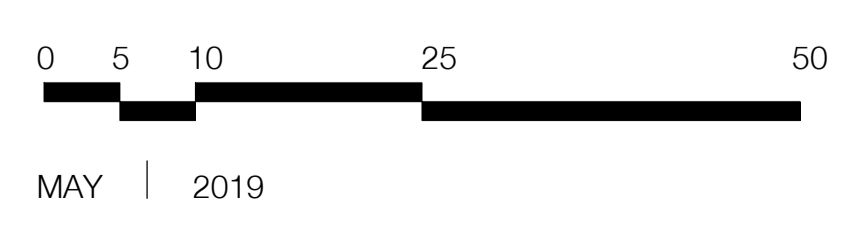
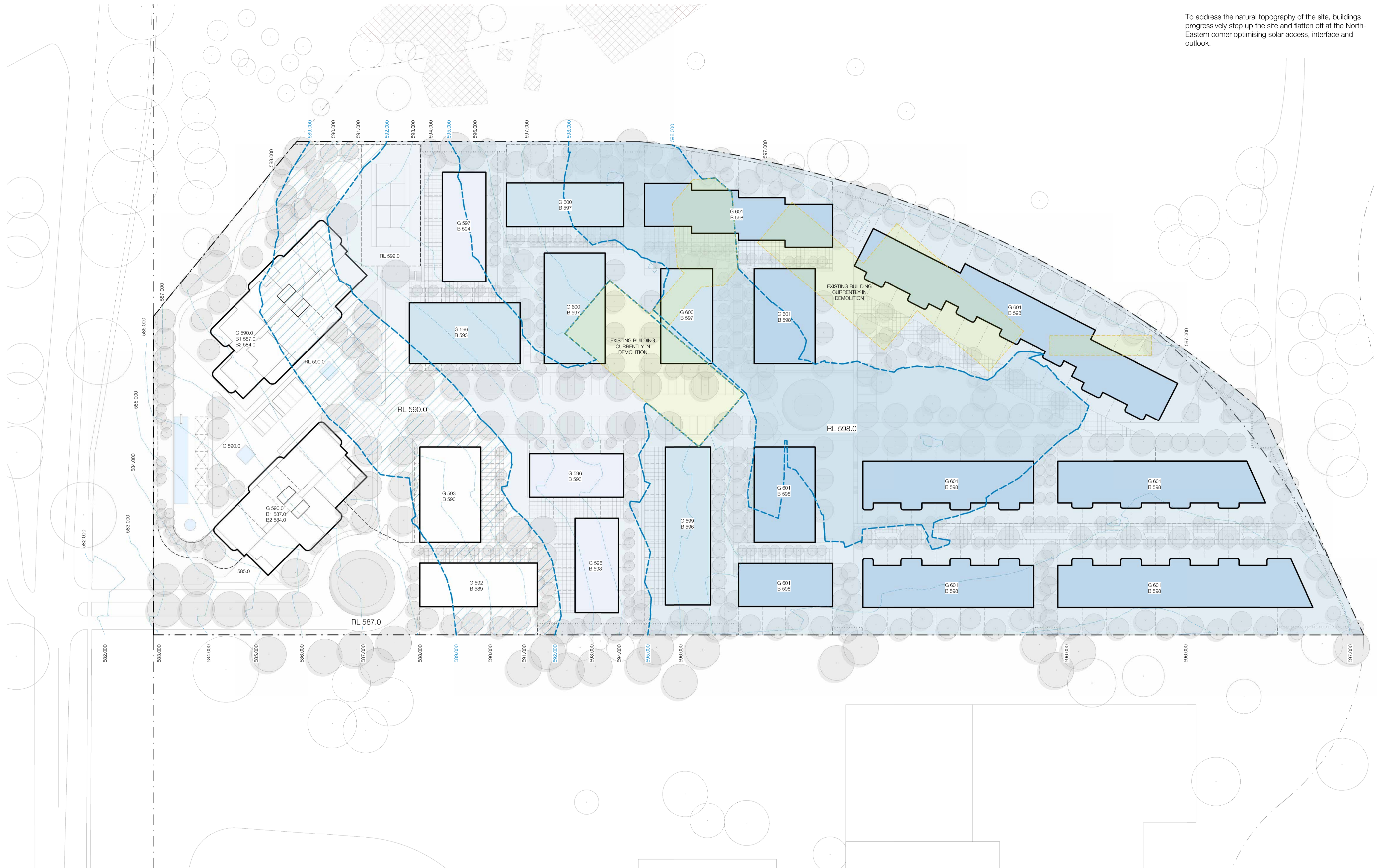
The site will be divided into five blocks; Four residential blocks to each corner of the site and central communal block containing the main driveway, tennis court and the majority of the sites inground services.

Indicative dimensions of these blocks have been provided subject to further detailed design.



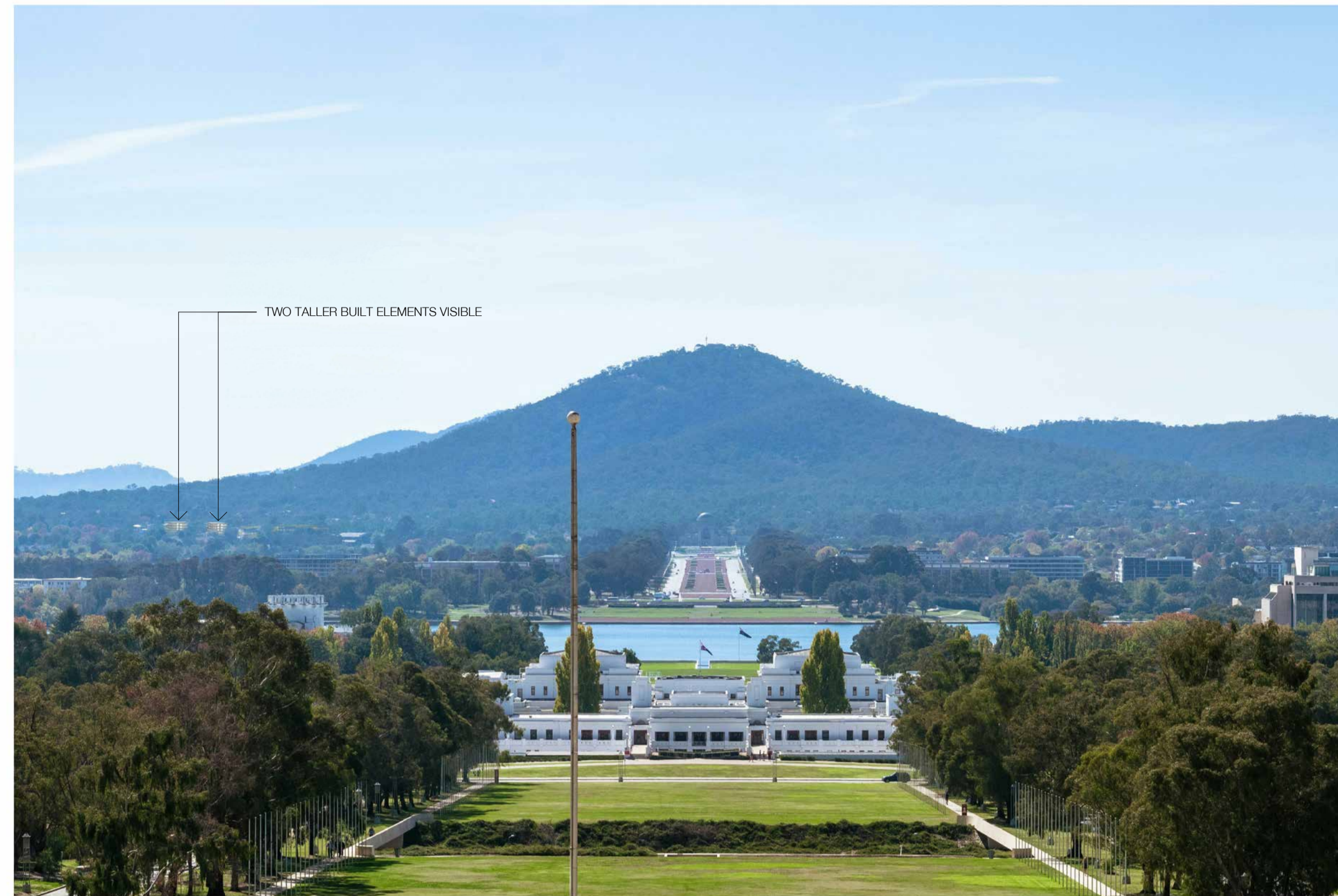
BLOCKS 4 & 5 SECTION 38 CAMPBELL
DESIGN SITE LEVELS

To address the natural topography of the site, buildings progressively step up the site and flatten off at the North-Eastern corner optimising solar access, interface and outlook.

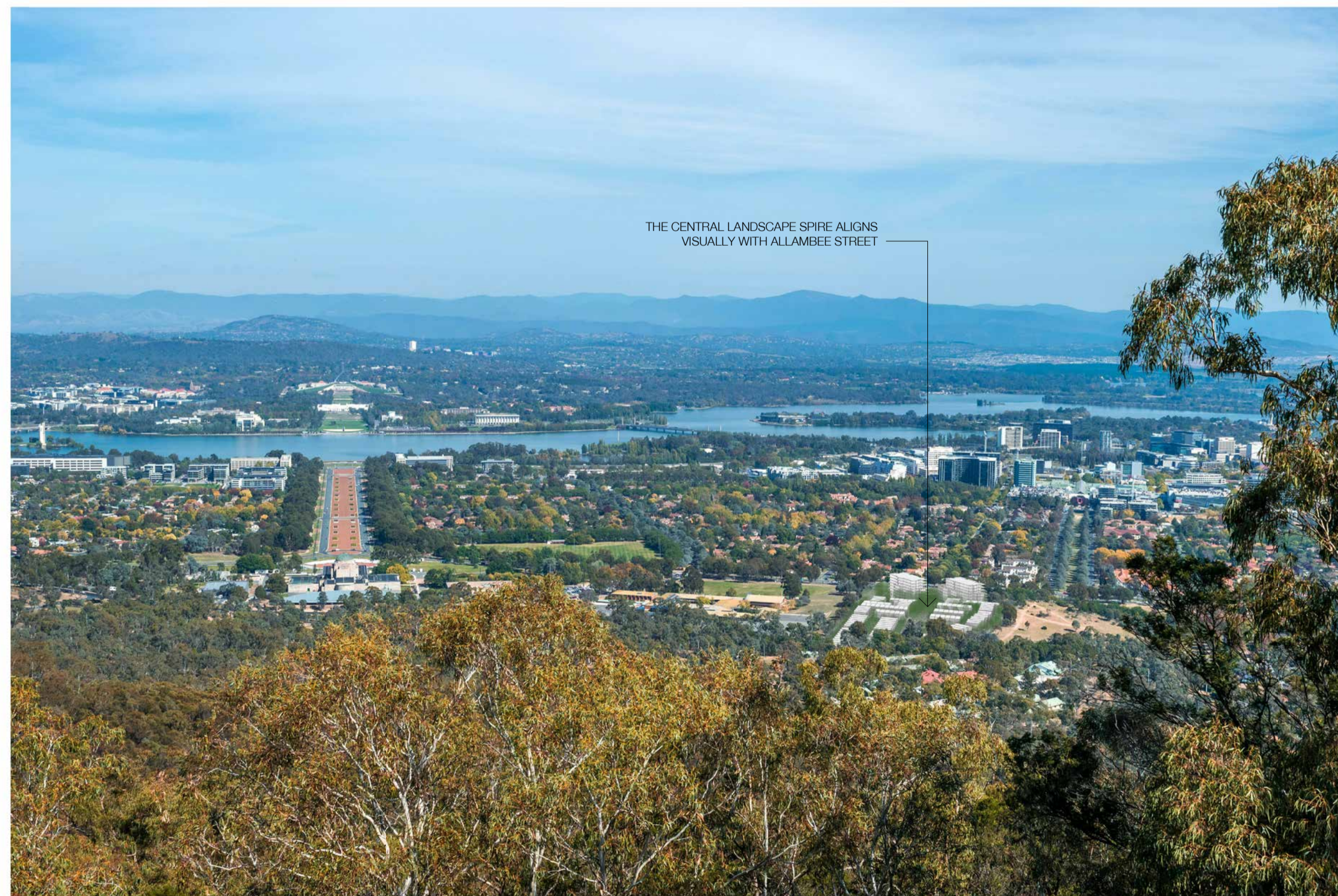




1. VIEW FROM RED HILL



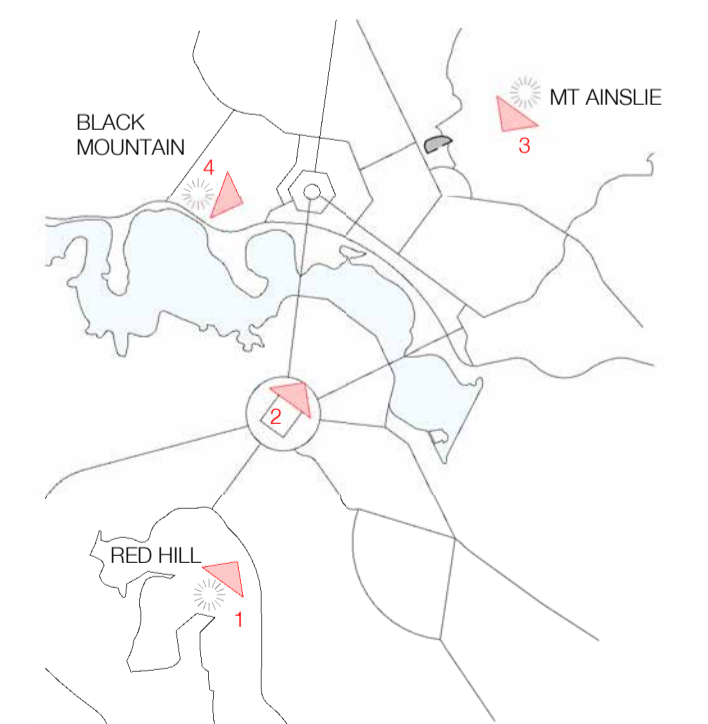
2. VIEW FROM PARLIAMENT HOUSE



3. VIEW FROM MOUNT AINSLIE



4. VIEW FROM BLACK MOUNTAIN



KEY



1. VIEW FROM LIMESTONE AVENUE



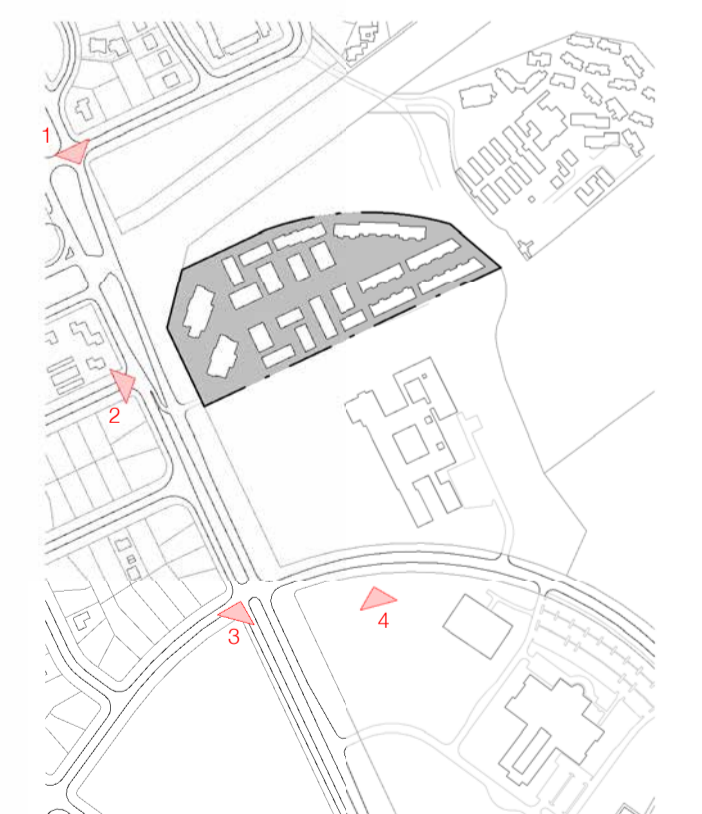
2. VIEW FROM ALLAMBIE STREET



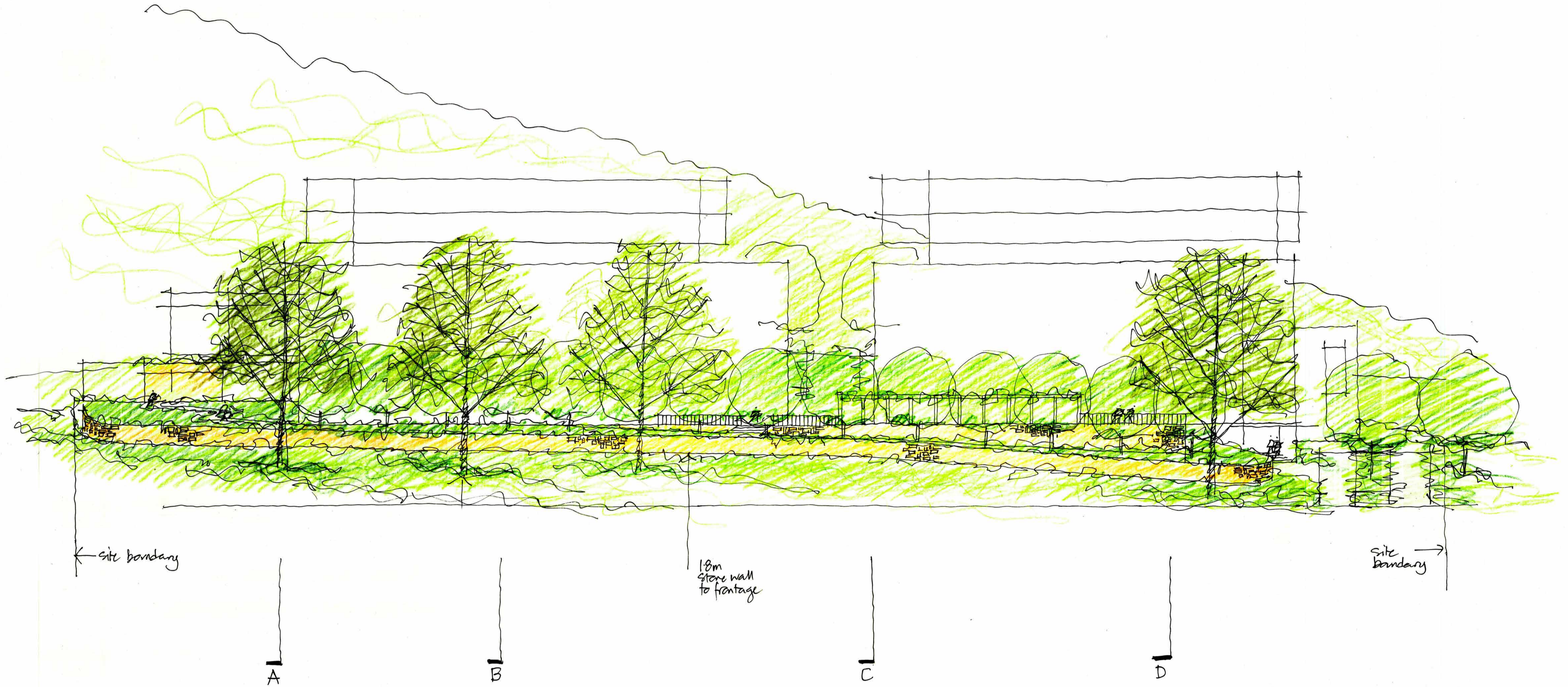
3. VIEW FROM EUREE STREET



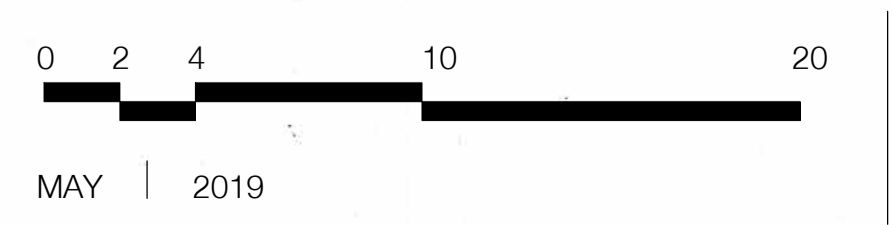
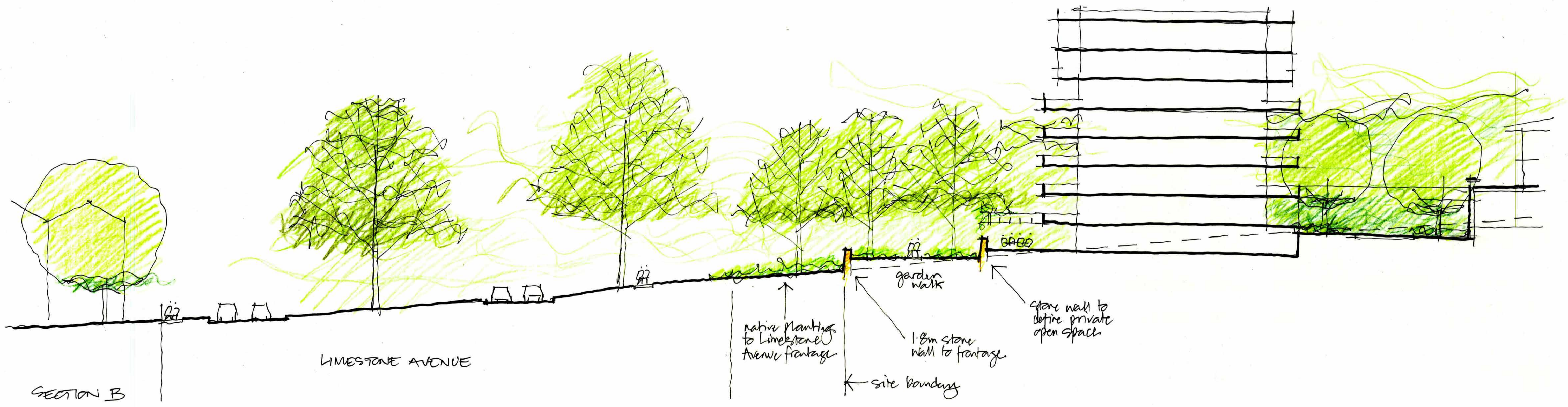
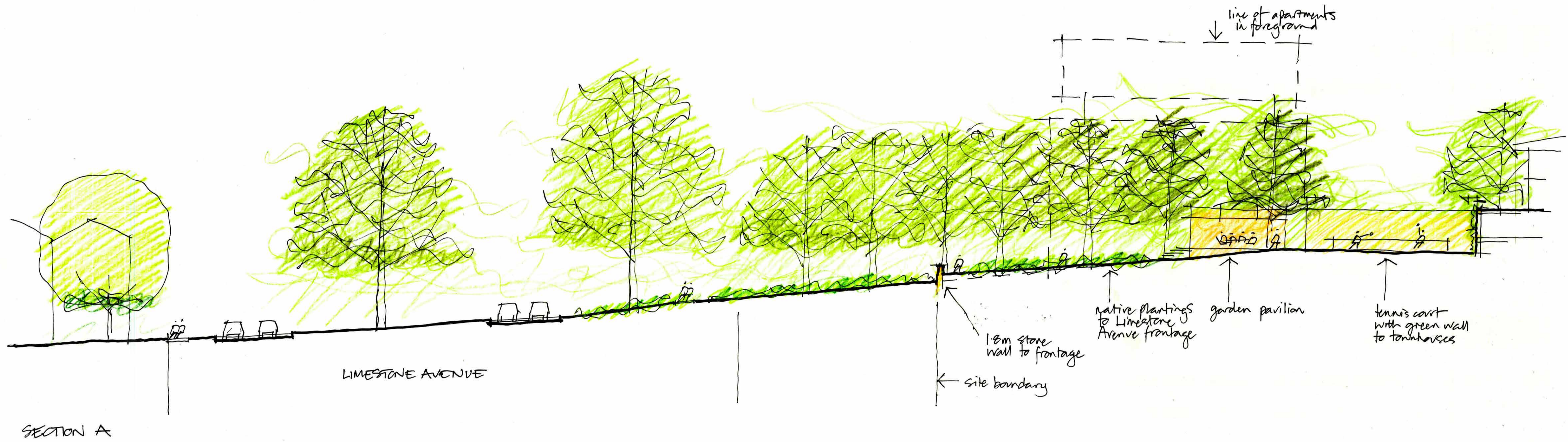
4. VIEW FROM WAR MEMORIAL CAR PARK

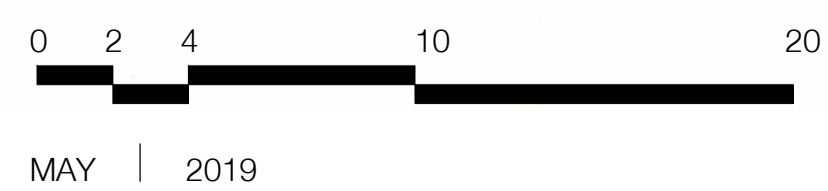
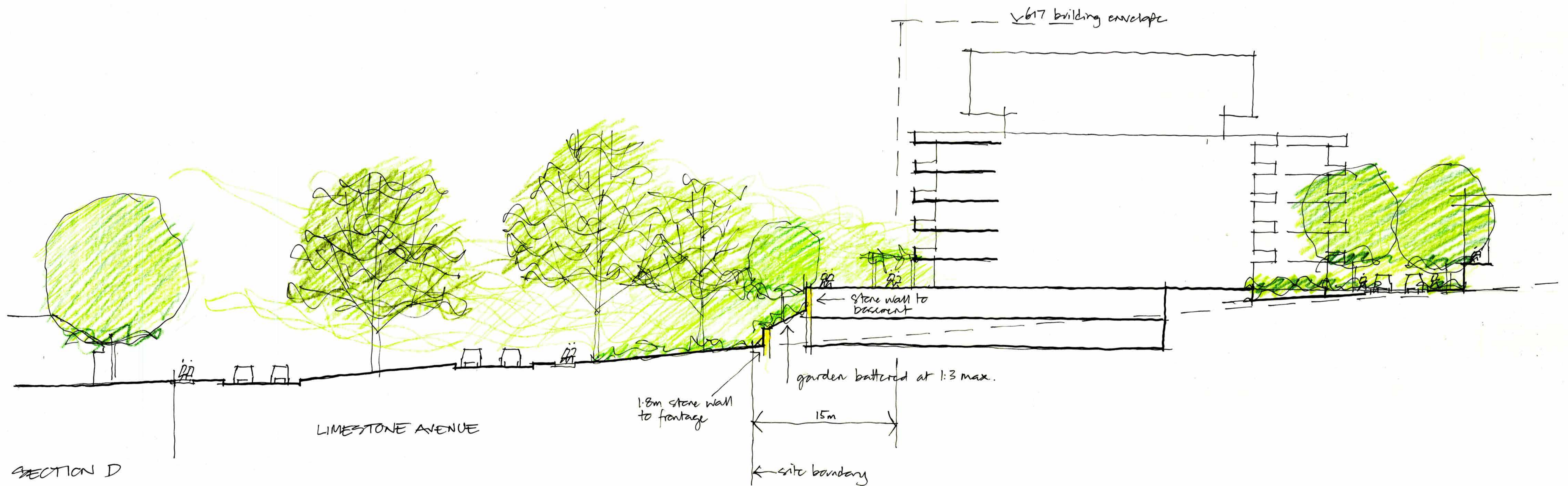
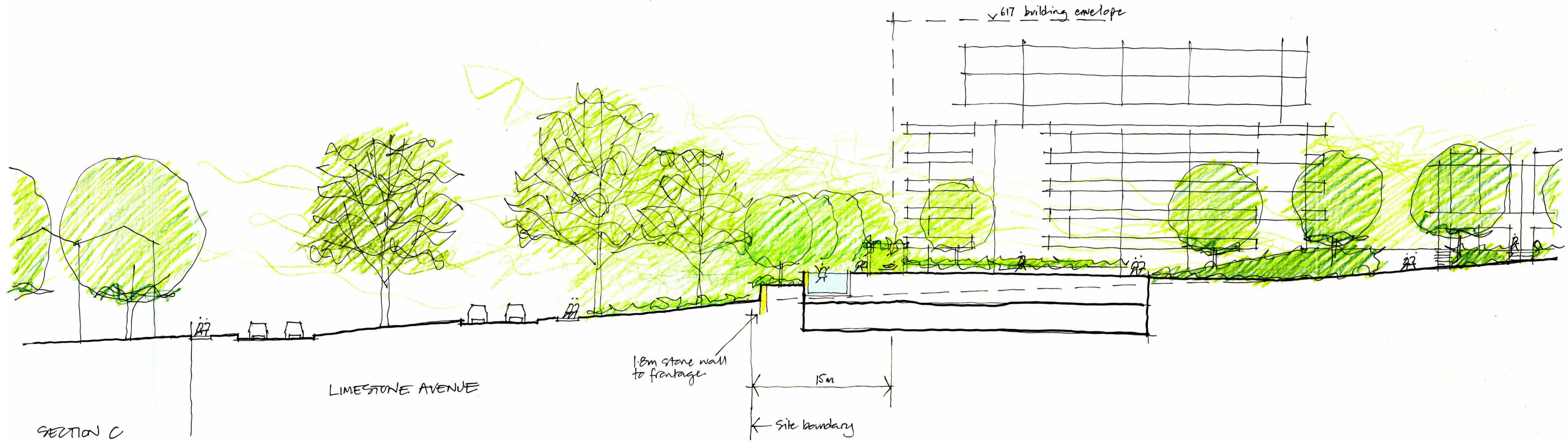


KEY



LIMESTONE AVENUE STREETSCAPE ANALYSIS



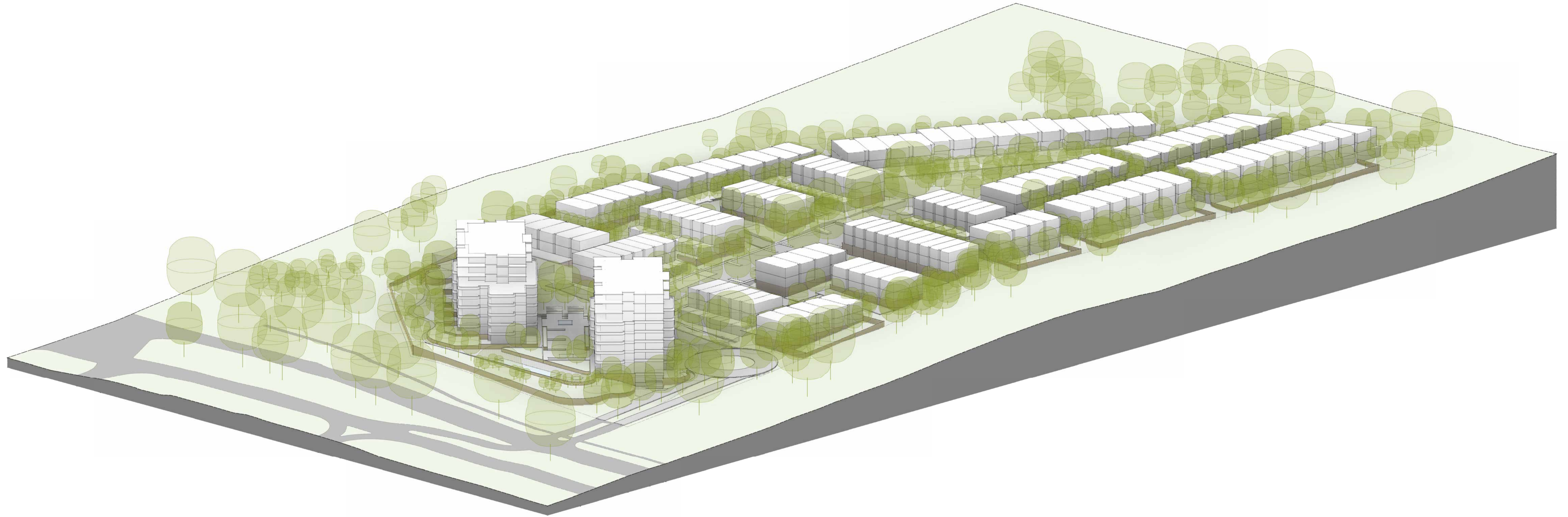


BUILT FORM

Built form and materials are of a quality appropriate to this prominent site within the National Capital. The building forms gently integrate with the surrounding topography and landscape. Rooftop services will be integrated into the overall building form in recognition of the importance of views to the site.

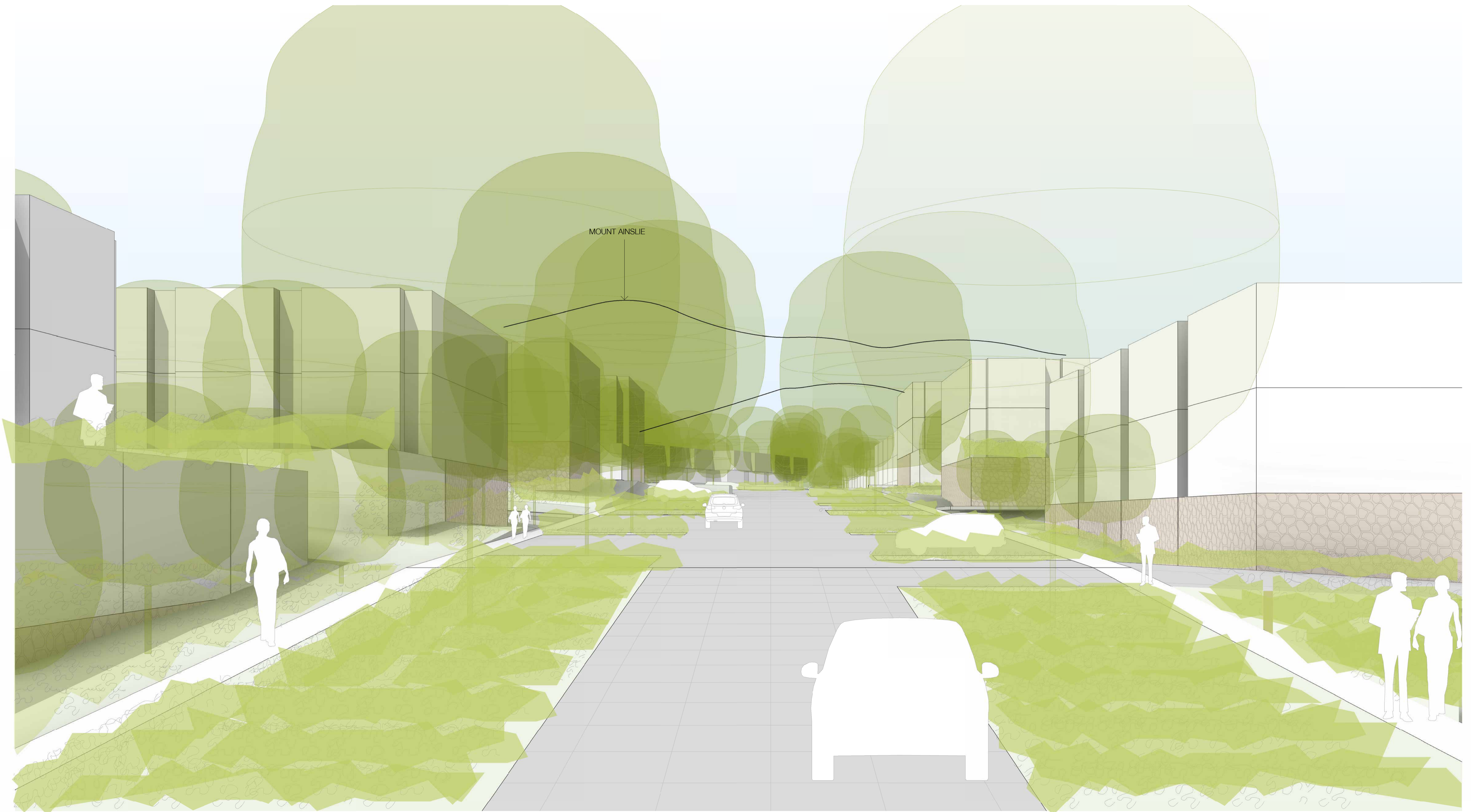
Materials consistent across the site include stonework bases reflective of the local Mount Ainslie stone. This integration with the landscape provides positive contribution to the local neighbourhood and character of the area.

Development exemplifies sustainability principles including the provision of significant landscape zones and optimizing passive building design.

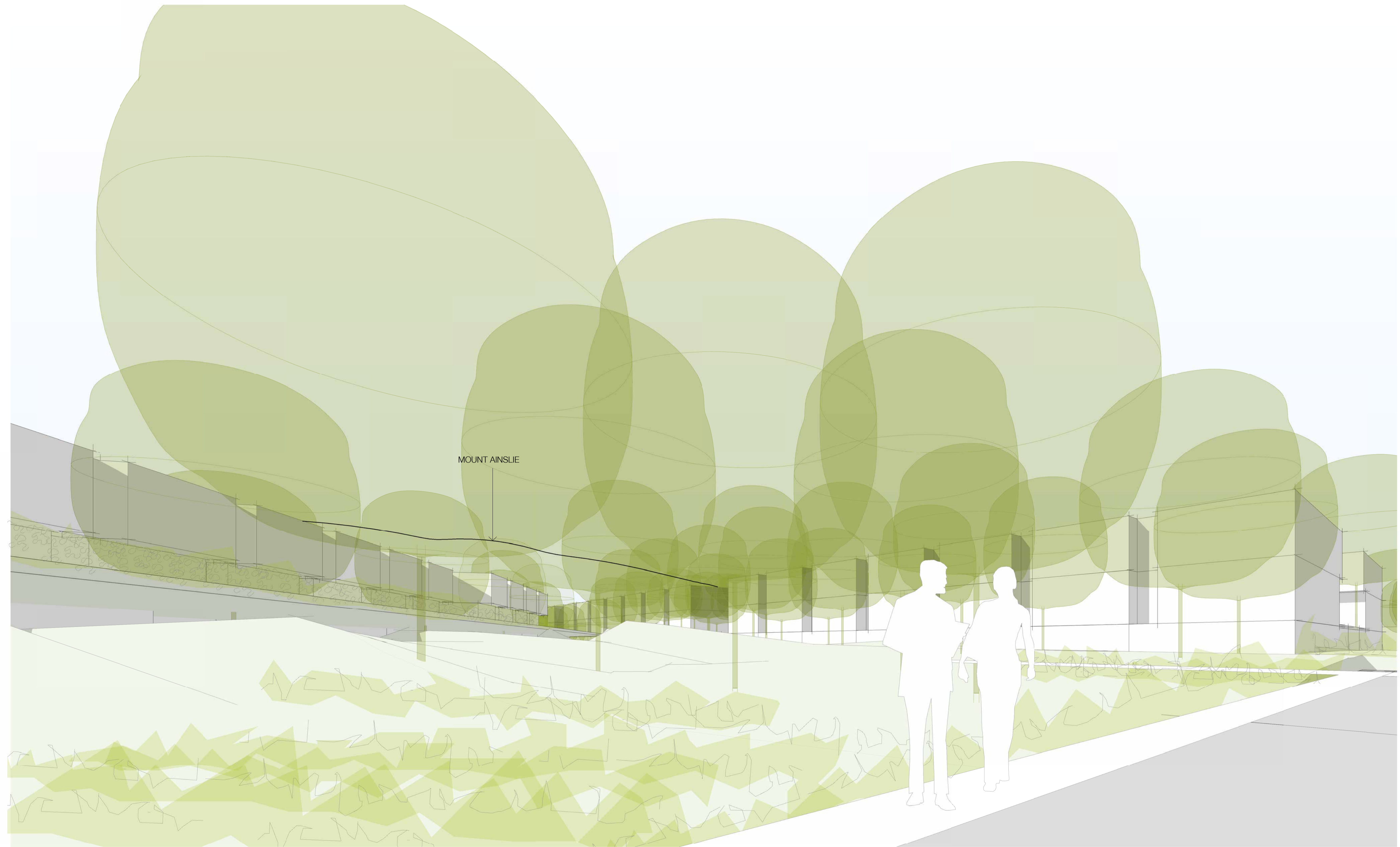




LIMESTONE AVENUE



CENTRAL DRIVEWAY

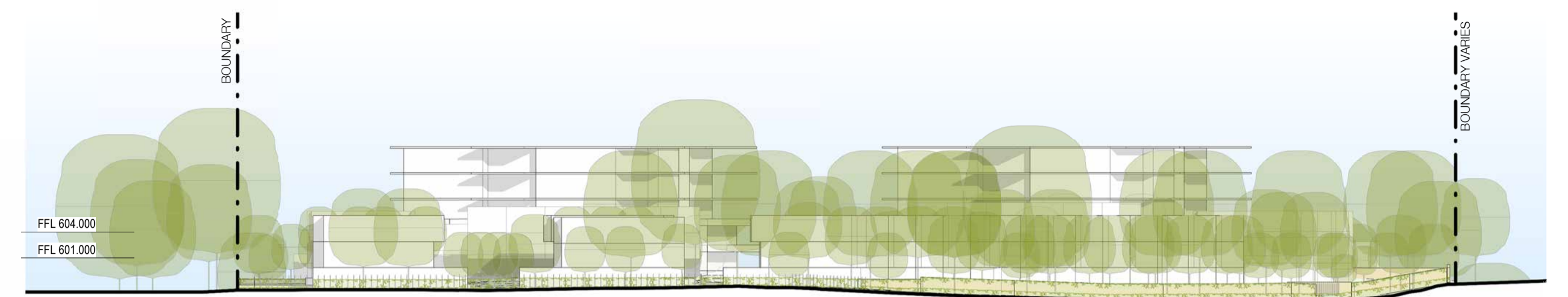


MOUNT AINSLIE

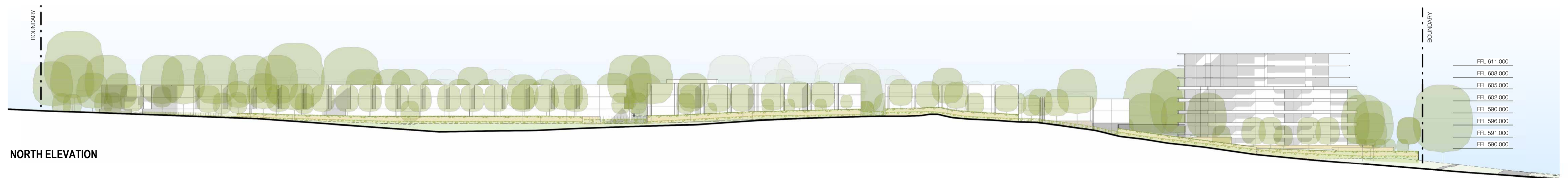
UPPER PARK



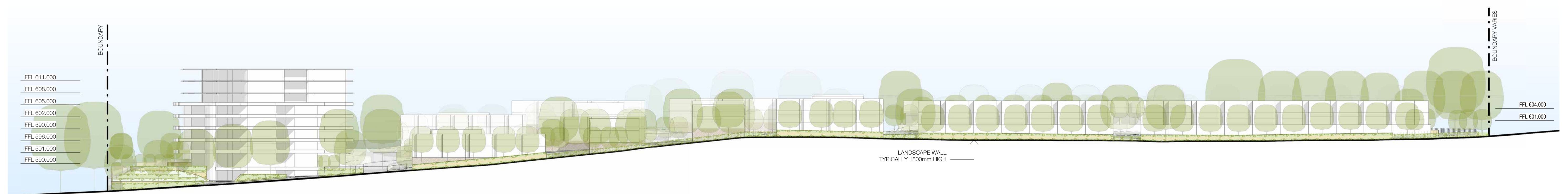
WEST ELEVATION



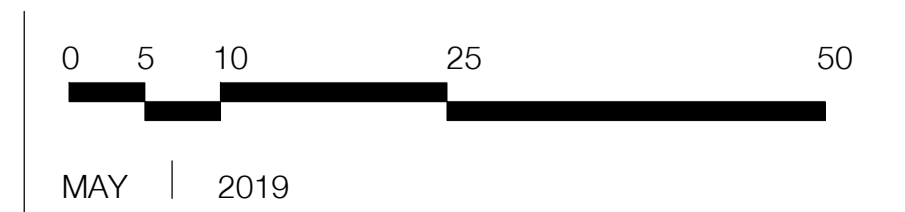
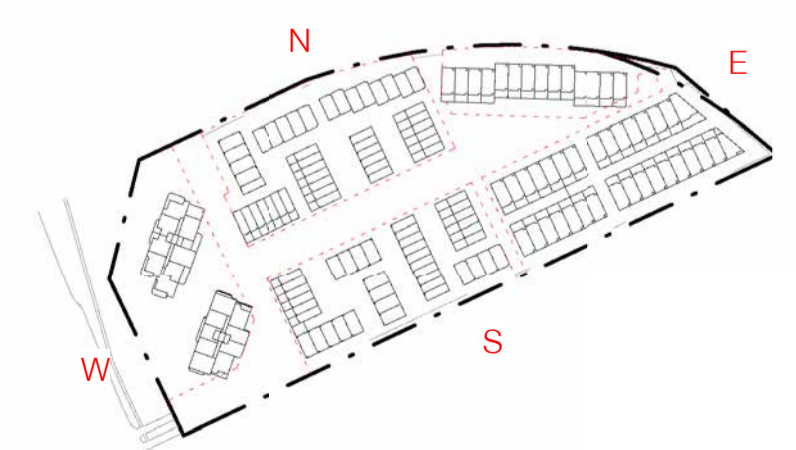
EAST ELEVATION

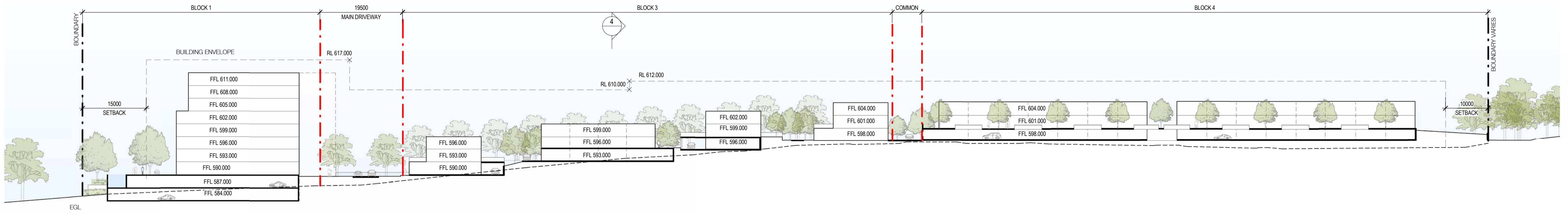


NORTH ELEVATION

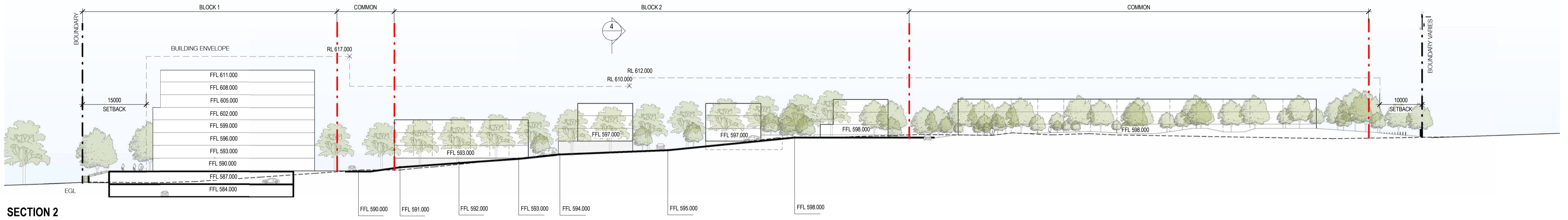


SOUTH ELEVATION

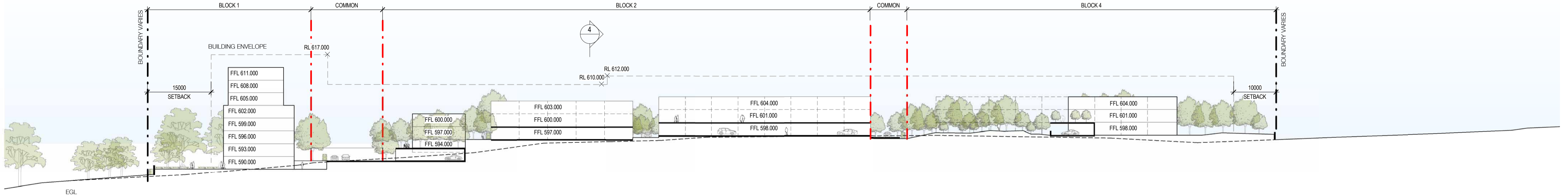




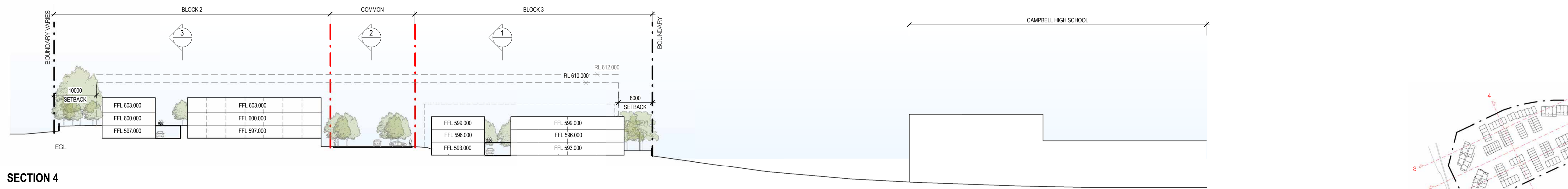
SECTION 1



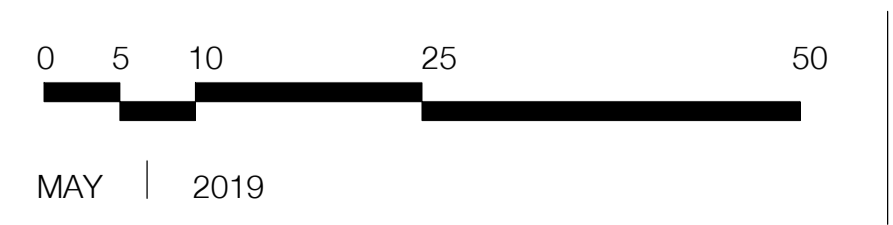
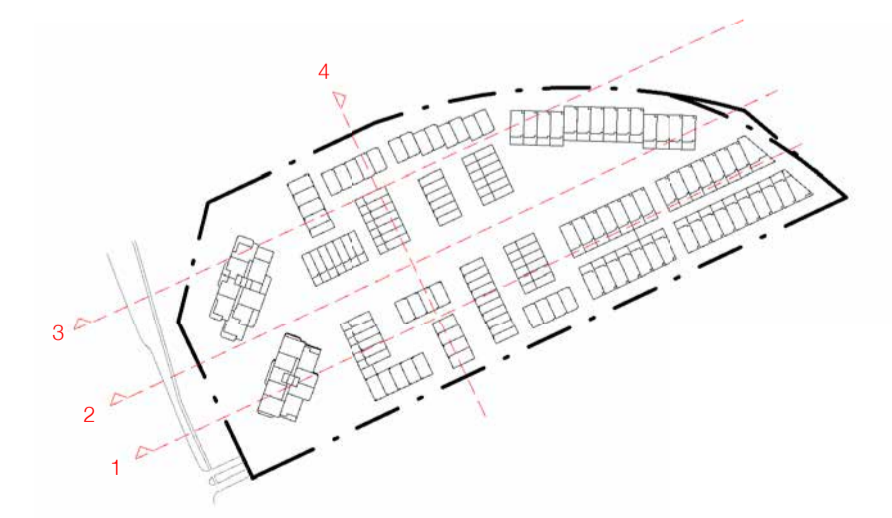
SECTION 2



SECTION 3



SECTION 4



BLOCKS 4 & 5 SECTION 38 CAMPBELL
BUILDING TYPOLOGY

A mix of dwelling typologies are proposed to reflect the diverse population of Inner North Canberra.

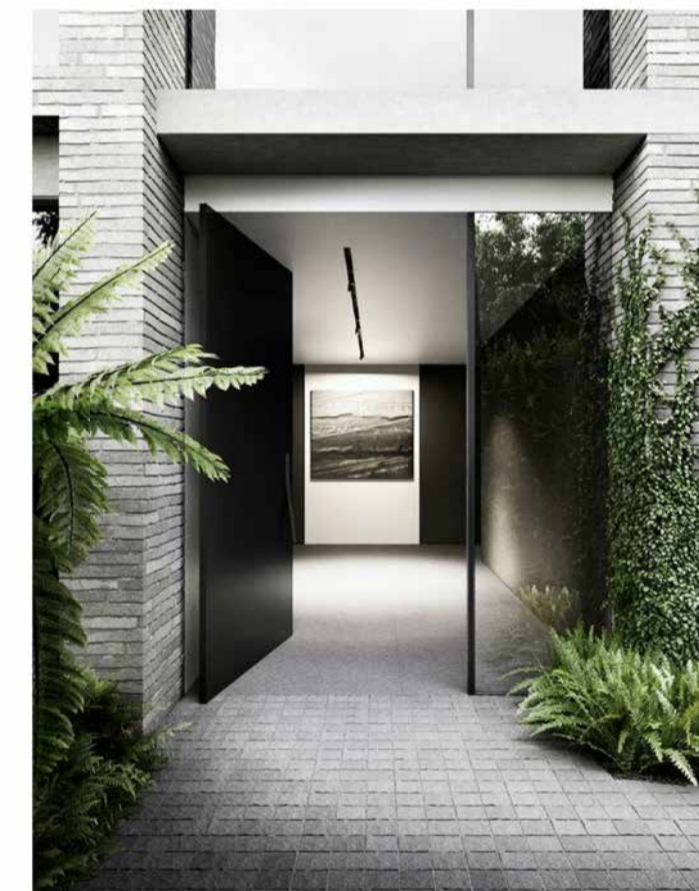
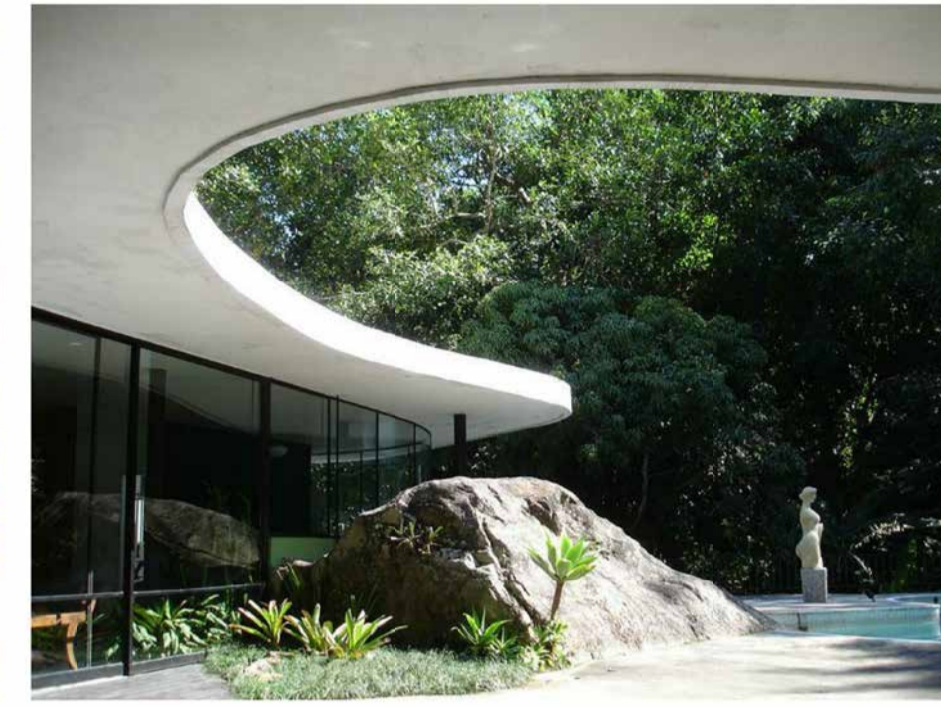
Complimentary architectural languages and material pallet will be employed to successfully connect the Apartment and Townhouse typologies and allow for an effective integration with the landscape and topography of the site and surrounds.

Primary materials may include a stonework base and off-form concrete to upper floors. Secondary materials will include metal / glass balustrade and shading systems. Applied finishes are minimised to ensure durability. Highly reflective materials will be avoided.

A considered siting of building mass maximises interface to provide outlook and both visual and acoustic privacy to all dwellings, whilst responding to solar and ventilation access.

The apartment buildings are angled to optimize solar access to dwellings and landscape spaces; and allow vistas between the buildings from Limestone Avenue. Organic forms and articulation minimises visual bulk whilst also ensuring overlooking as avoided. These building forms also serve to integrate with their landscape surrounds whilst creating and facilitating open vistas to their setting.

Apartments may vary between 1 and 3 bedrooms and are elevated to the internal driveway and surrounding roads, with direct address to podiums. Apartments are afforded views of communal outdoor spaces to provide appropriate passive surveillance. Wide balconies optimize summer shading. Address to the public realm is clearly defined by means of glazed lobbies within natural stone walls in a landscape setting.

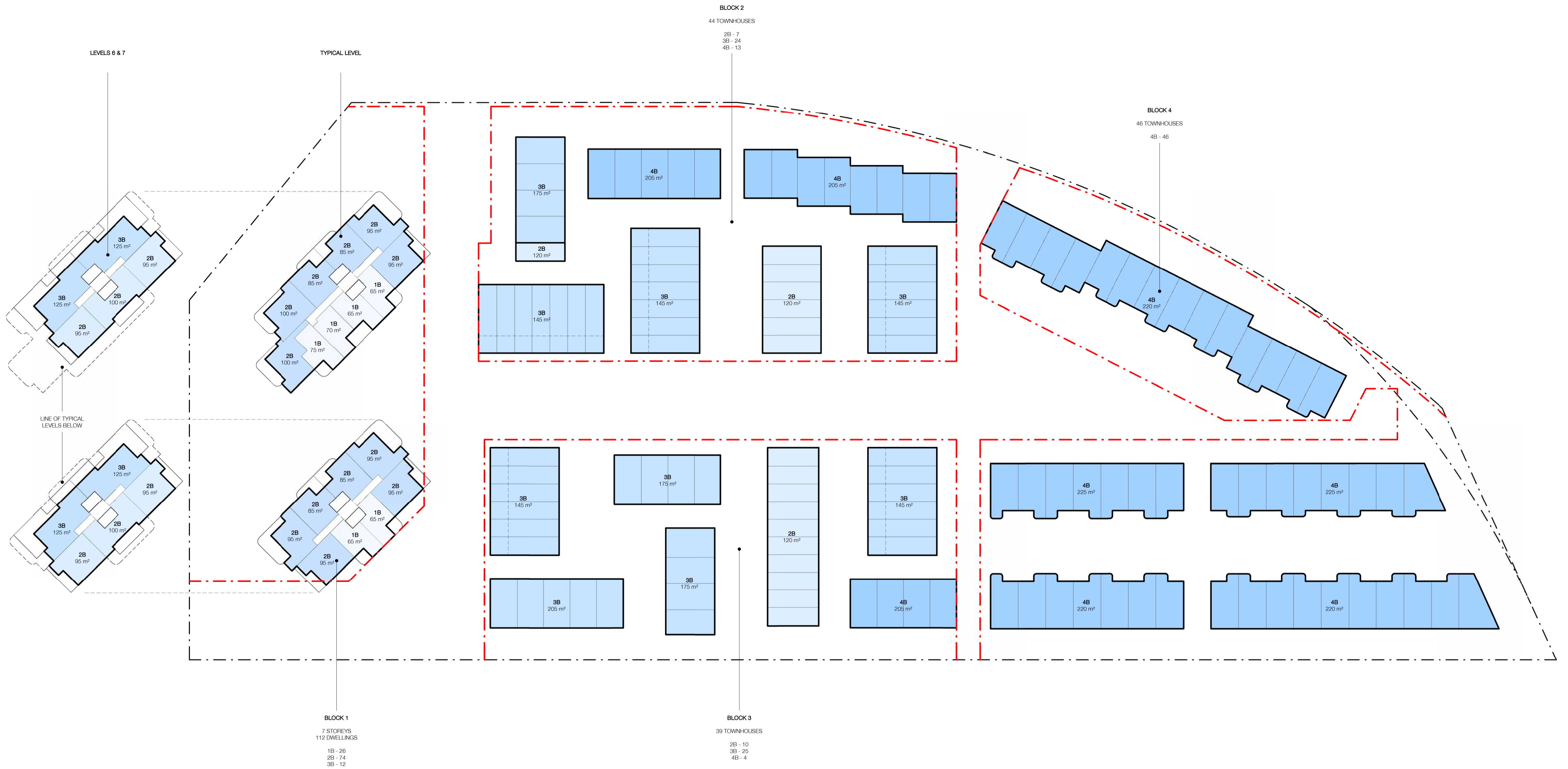






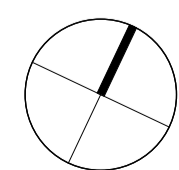
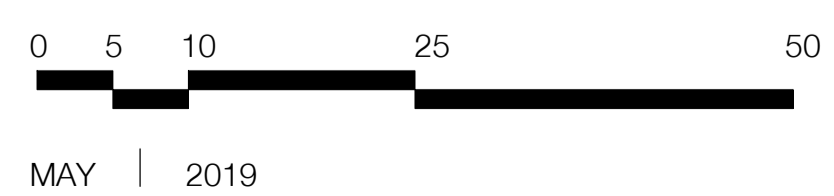
BLOCKS 4 & 5 SECTION 38 CAMPBELL
DEVELOPMENT SUMMARY

A mix of dwelling types and sizes is proposed to reflect the diverse population of Inner North Canberra.



DEVELOPMENT SUMMARY

BLOCK 1	112 APARTMENTS
BLOCK 2	44 TOWNHOUSES
BLOCK 3	39 TOWNHOUSES
BLOCK 4	46 TOWNHOUSES
TOTALS	112 APARTMENTS 129 TOWNHOUSES 241 DWELLINGS IN TOTAL



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**BLOCKS 4 & 5 SECTION 38 CAMPBELL
PEDESTRIAN EXPERIENCE**

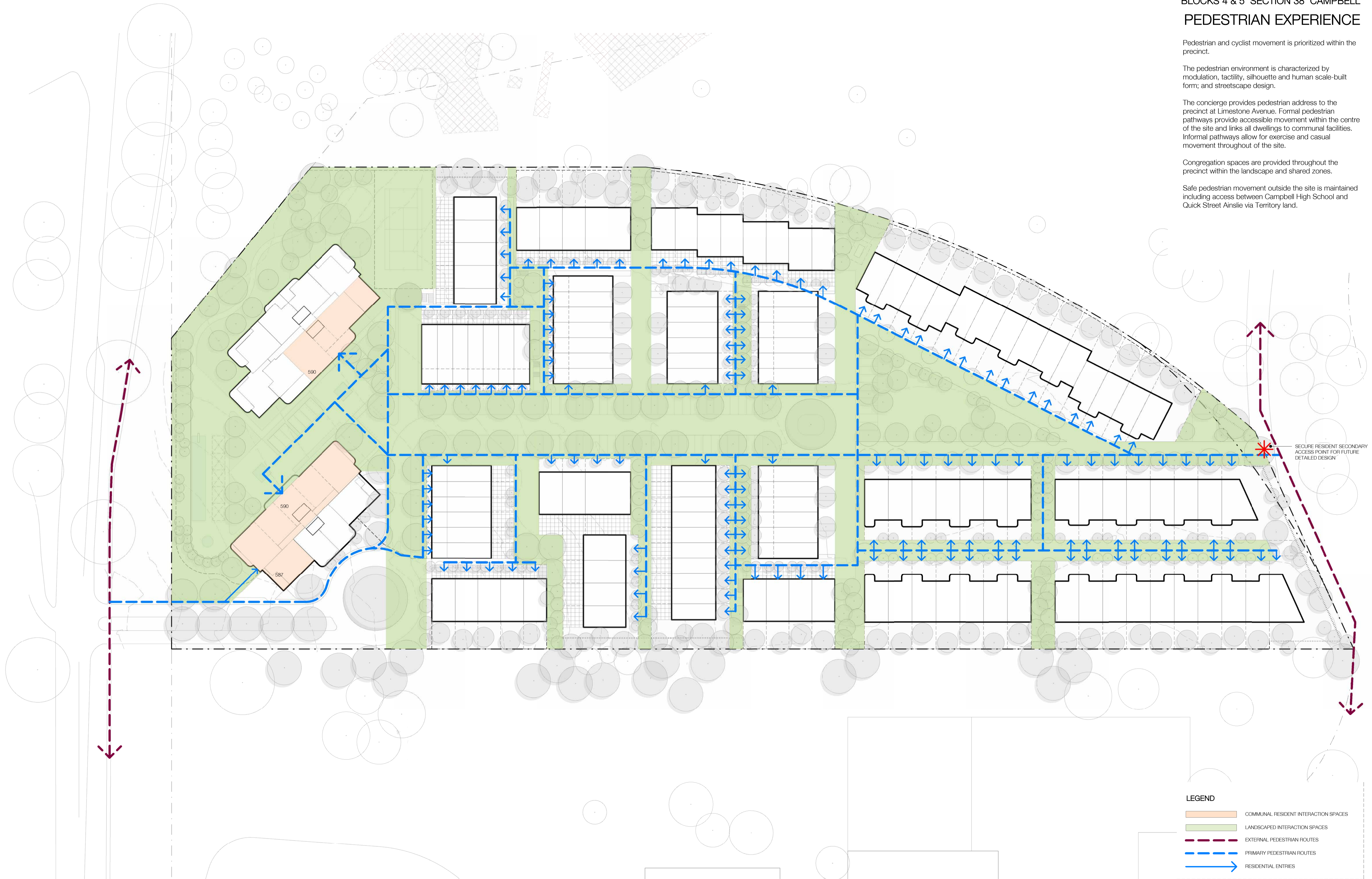
Pedestrian and cyclist movement is prioritized within the precinct.

The pedestrian environment is characterized by modulation, tactility, silhouette and human scale-built form; and streetscape design.

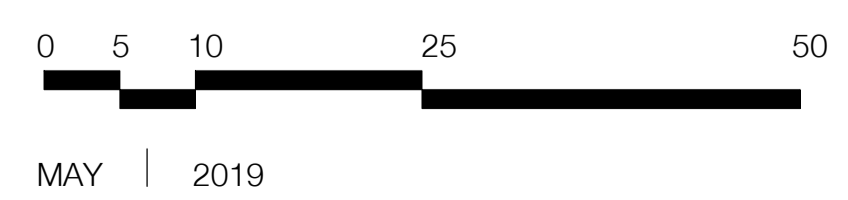
The concierge provides pedestrian address to the precinct at Limestone Avenue. Formal pedestrian pathways provide accessible movement within the centre of the site and links all dwellings to communal facilities. Informal pathways allow for exercise and casual movement throughout of the site.

Congregation spaces are provided throughout the precinct within the landscape and shared zones.

Safe pedestrian movement outside the site is maintained including access between Campbell High School and Quick Street Ainslie via Territory land.



- LEGEND**
- COMMUNAL RESIDENT INTERACTION SPACES
 - LANDSCAPED INTERACTION SPACES
 - EXTERNAL PEDESTRIAN ROUTES
 - PRIMARY PEDESTRIAN ROUTES
 - RESIDENTIAL ENTRIES

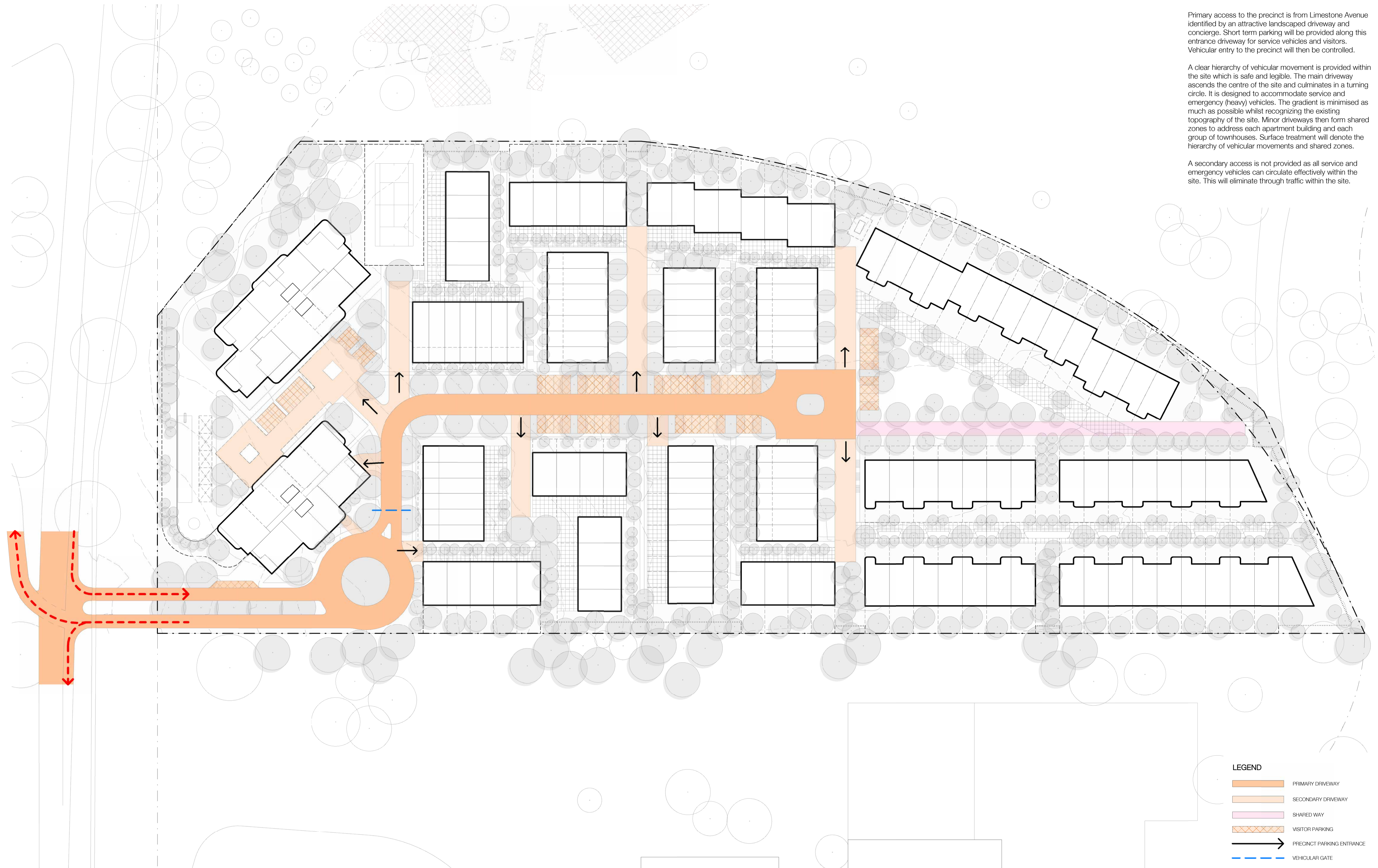


BLOCKS 4 & 5 SECTION 38 CAMPBELL
VEHICULAR MOVEMENT

Primary access to the precinct is from Limestone Avenue identified by an attractive landscaped driveway and concierge. Short term parking will be provided along this entrance driveway for service vehicles and visitors. Vehicular entry to the precinct will then be controlled.

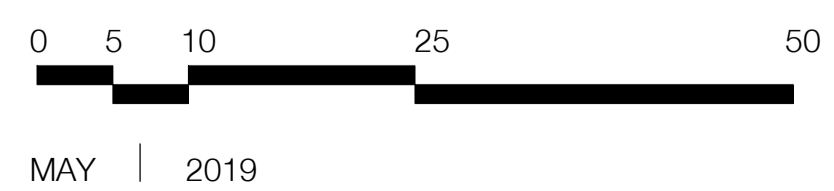
A clear hierarchy of vehicular movement is provided within the site which is safe and legible. The main driveway ascends the centre of the site and culminates in a turning circle. It is designed to accommodate service and emergency (heavy) vehicles. The gradient is minimised as much as possible whilst recognizing the existing topography of the site. Minor driveways then form shared zones to address each apartment building and each group of townhouses. Surface treatment will denote the hierarchy of vehicular movements and shared zones.

A secondary access is not provided as all service and emergency vehicles can circulate effectively within the site. This will eliminate through traffic within the site.

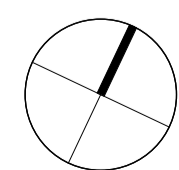


LEGEND

- PRIMARY DRIVEWAY
- SECONDARY DRIVEWAY
- SHARED WAY
- VISITOR PARKING
- PRECINCT PARKING ENTRANCE
- VEHICULAR GATE



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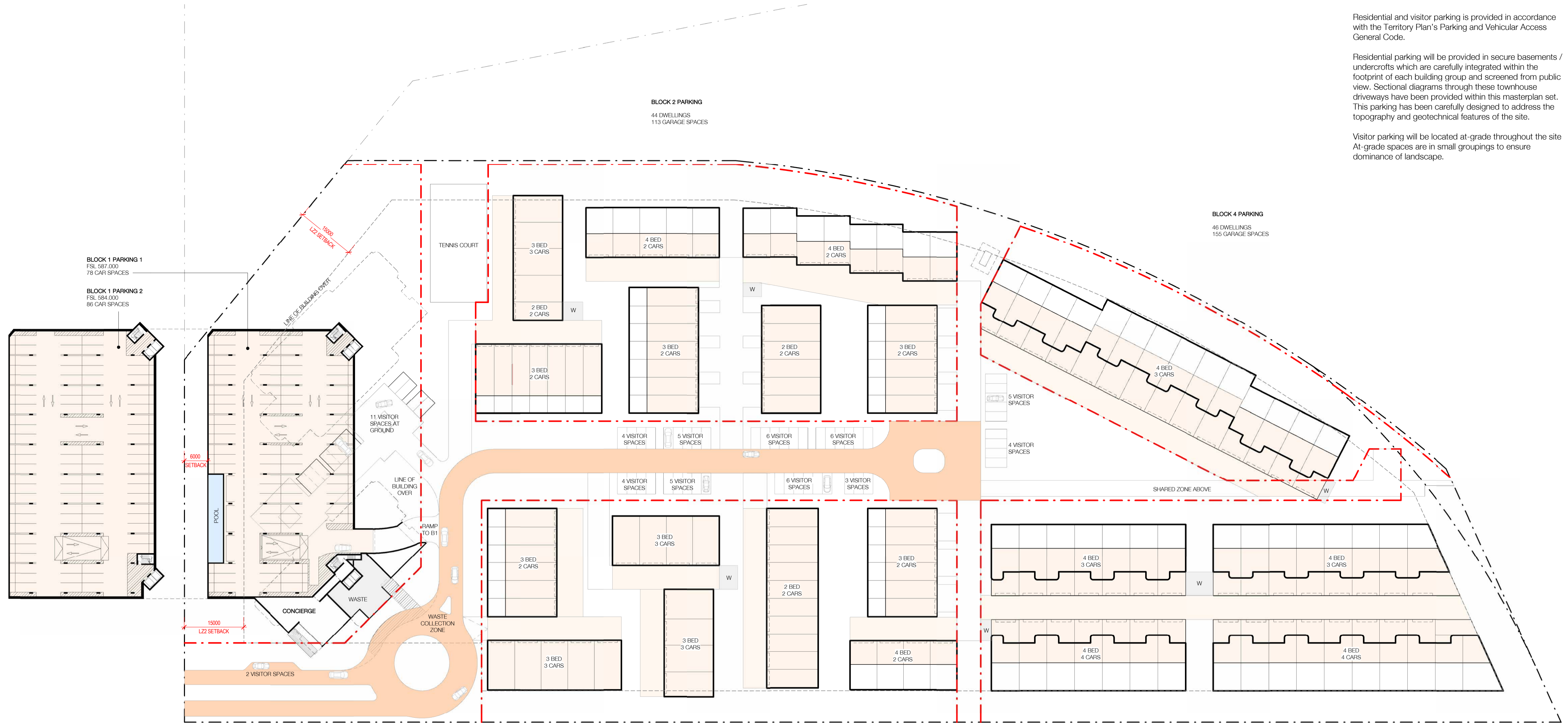


PARKING STRATEGY

Residential and visitor parking is provided in accordance with the Territory Plan's Parking and Vehicular Access General Code.

Residential parking will be provided in secure basements / undercrofts which are carefully integrated within the footprint of each building group and screened from public view. Sectional diagrams through these townhouse driveways have been provided within this masterplan set. This parking has been carefully designed to address the topography and geotechnical features of the site.

Visitor parking will be located at-grade throughout the site. At-grade spaces are in small groupings to ensure dominance of landscape.



BLOCK 2 PARKING
44 DWELLINGS
113 GARAGE SPACES

BLOCK 4 PARKING
46 DWELLINGS
155 GARAGE SPACES

BLOCK 1 PARKING 1
FSL 587.000
78 CAR SPACES

BLOCK 1 PARKING 2
FSL 584.000
86 CAR SPACES

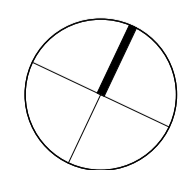
BLOCK 3 PARKING
39 DWELLINGS
91 GARAGE SPACES

PARKING ANALYSIS

	1 BEDROOM	2 BEDROOM	3 & 4 BEDROOM	TOTALS
APARTMENTS				
DWELLING QTY	26	74	12	112
RATE / DWELLING	1	1.5	2	61
PARKING GENERATION	26	111	24	161
PARKING PROVISION	1	1-2	2	164 SPACES
TOWNHOUSES				
DWELLING QTY	-	17	112	129
RATE / DWELLING	1	1.5	2	250
PARKING GENERATION	-	26	224	250
PARKING PROVISION	-	2	2-4	342 SPACES
VISITORS				
DWELLINGS	-	-	-	241
GENERATION (25% OF DWELLING)	-	-	-	61
PROVISION	-	-	-	61 SPACES
GRAND TOTAL				567 SPACES

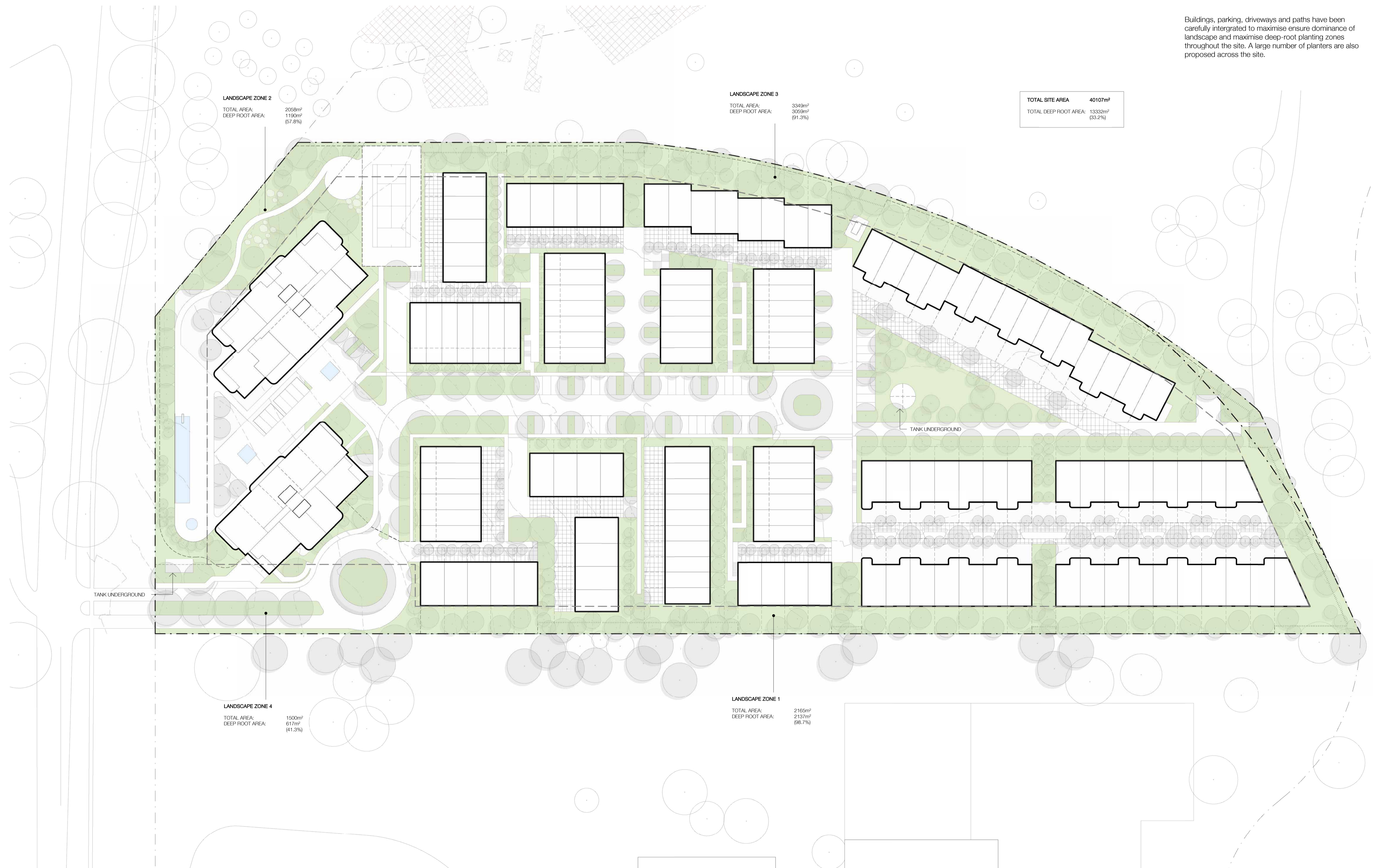
LEGEND

- WASTE
- MAIN ROAD
- COVERED PARKING
- SHARED UNDERCROFT DRIVEWAY



BLOCKS 4 & 5 SECTION 38 CAMPBELL
DEEP ROOT PLANTING

Buildings, parking, driveways and paths have been carefully intergrated to maximise ensure dominance of landscape and maximise deep-root planting zones throughout the site. A large number of planters are also proposed across the site.



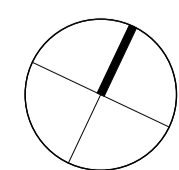
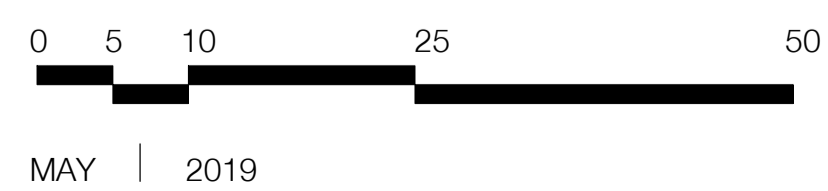
LANDSCAPE ZONE 2
TOTAL AREA: 2058m²
DEEP ROOT AREA: 1190m²
(57.8%)

LANDSCAPE ZONE 3
TOTAL AREA: 3349m²
DEEP ROOT AREA: 3059m²
(91.3%)

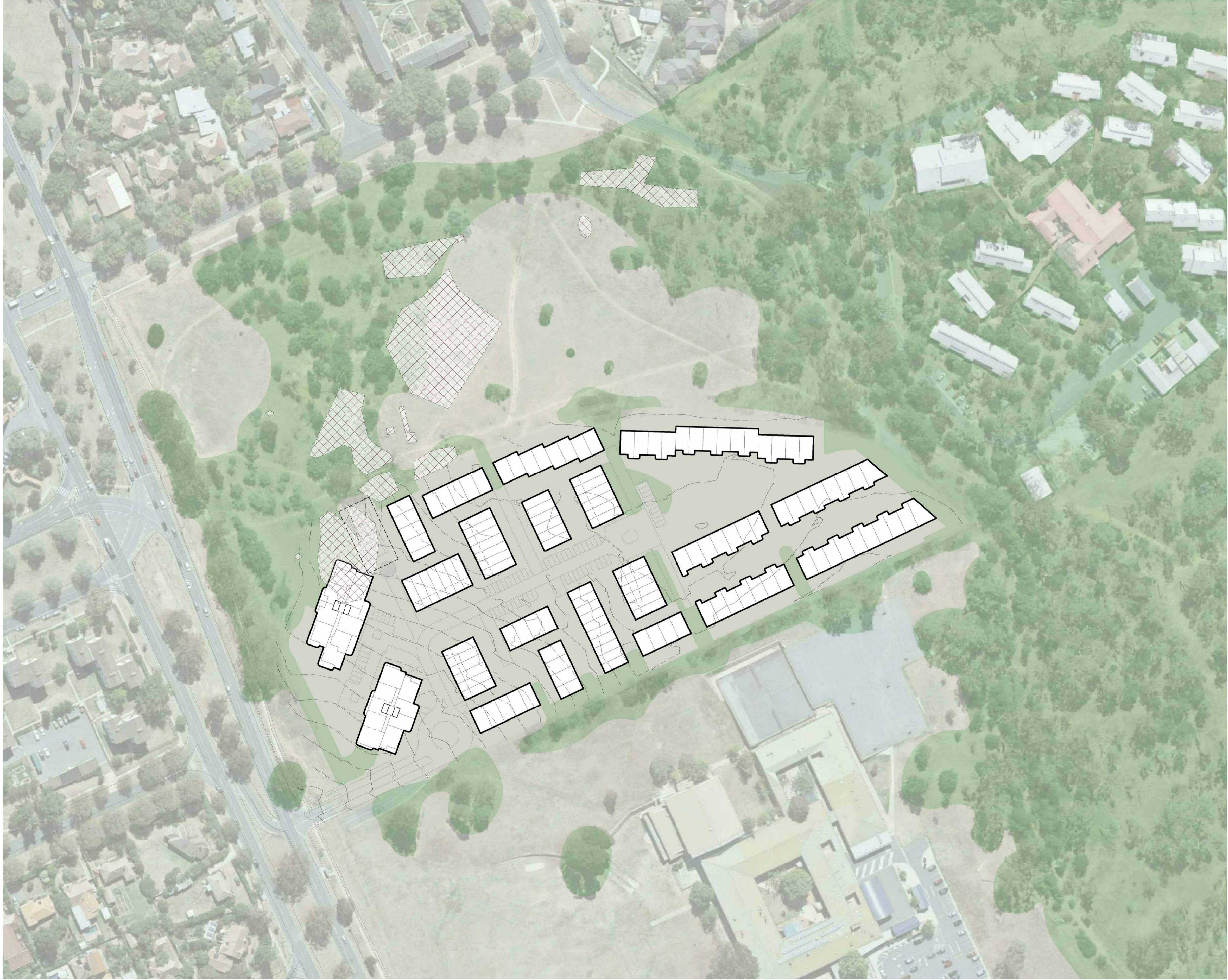
TOTAL SITE AREA 40107m²
TOTAL DEEP ROOT AREA: 13332m²
(33.2%)

LANDSCAPE ZONE 4
TOTAL AREA: 1500m²
DEEP ROOT AREA: 617m²
(41.3%)

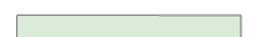
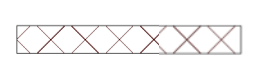
LANDSCAPE ZONE 1
TOTAL AREA: 2165m²
DEEP ROOT AREA: 2137m²
(98.7%)

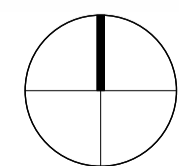
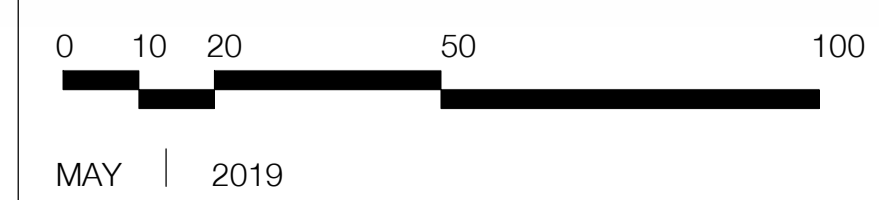


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LEGEND

-  NATIVE BUSH
-  ROCK AND BOULDER OUTCROPS



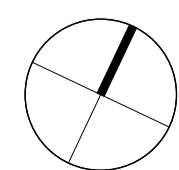
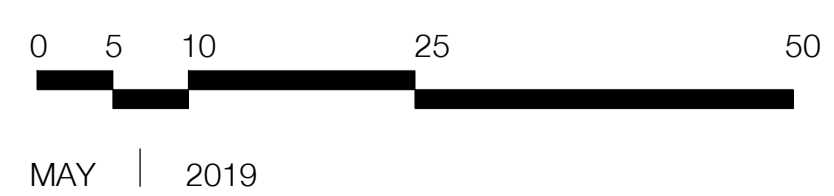
BOUNDARY TREATMENT

Precinct boundaries will be defined by masonry walls and metal fences which integrate with the building and landscape design.



LEGEND

- LANDSCAPE BLENDING
- TYPE A - LANDSCAPE WALL
- TYPE B - ENTRY LANDSCAPE WALL
- TYPE C - METAL SLAT FENCE

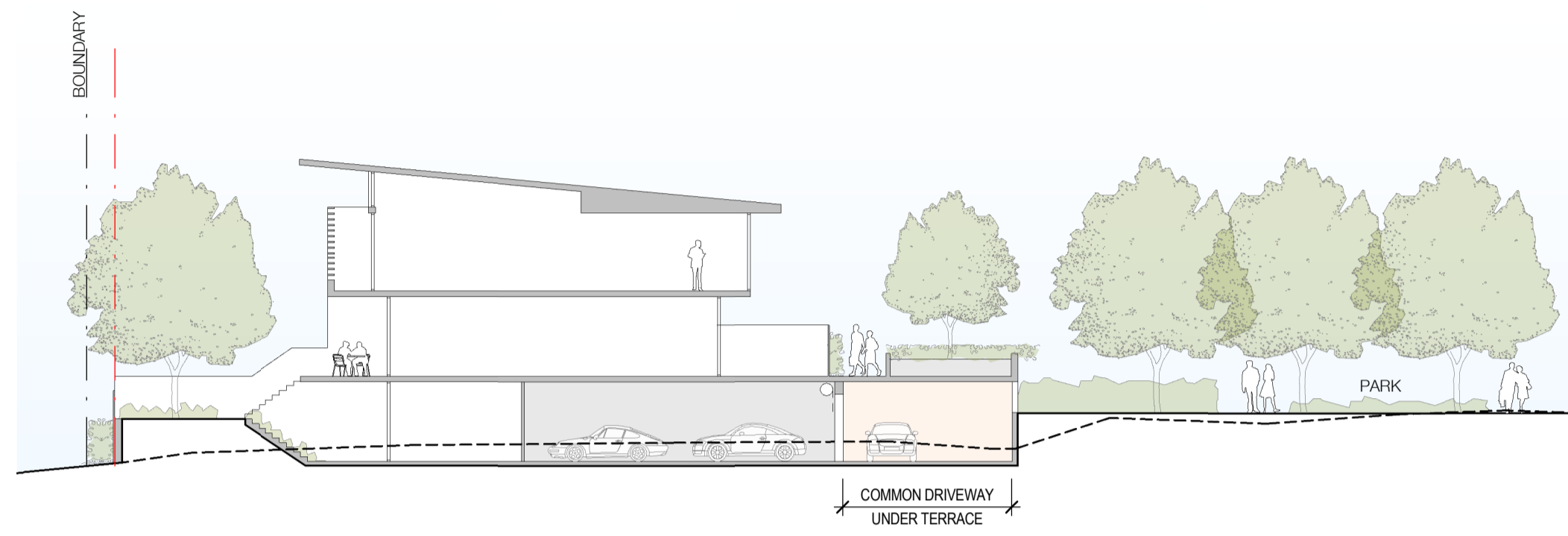


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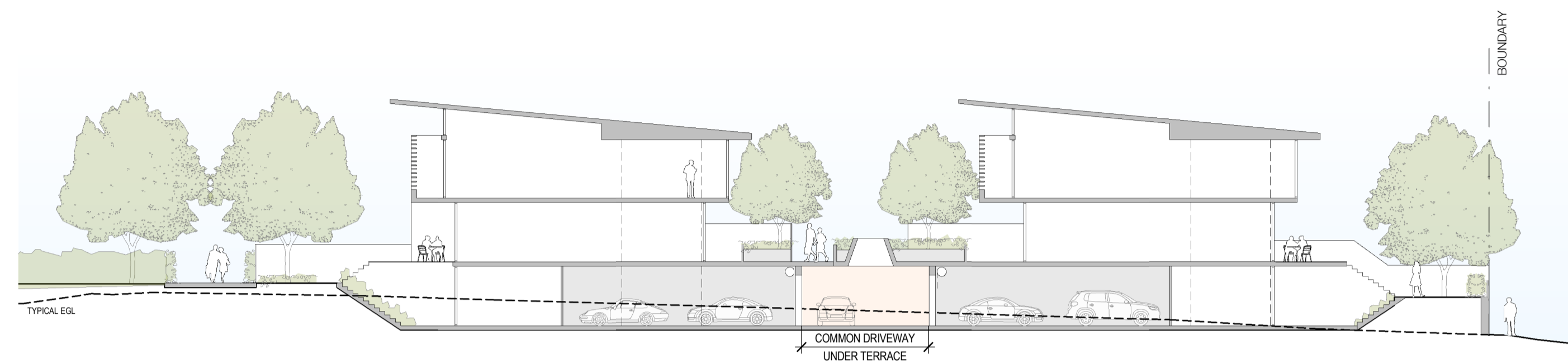
BLOCKS 4 & 5 SECTION 38 CAMPBELL
TOWNHOUSE SECTIONS

The townhouses and their parking has been carefully designed to address the topographic and geotechnical features of the site whilst maximising deep root planting.

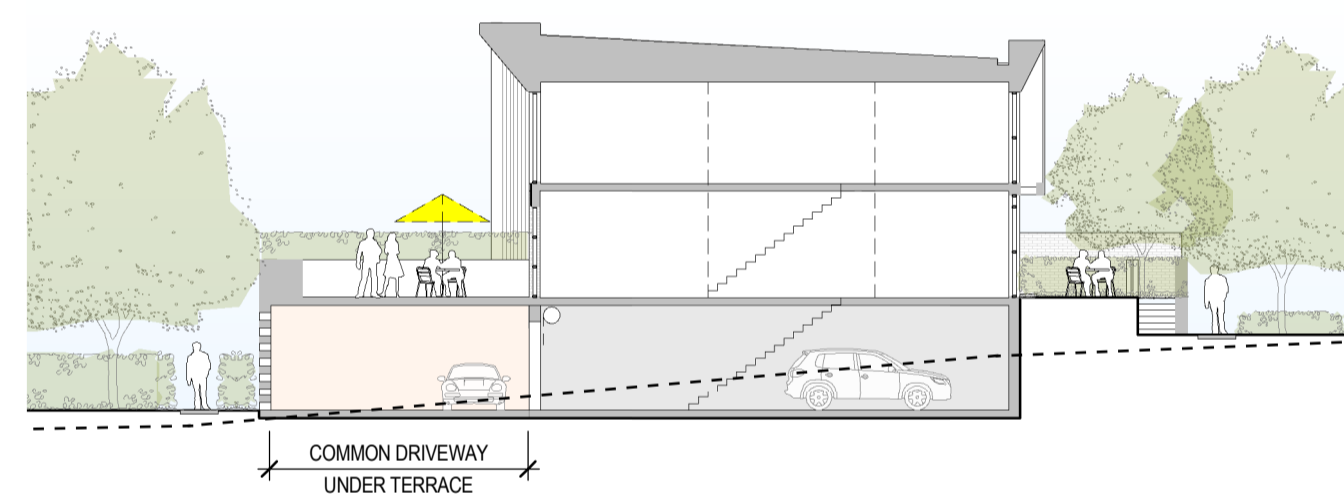
Indicative sections have been taken a variety of points across the development order to illustrate how these dwellings may respond to the varying site conditions.



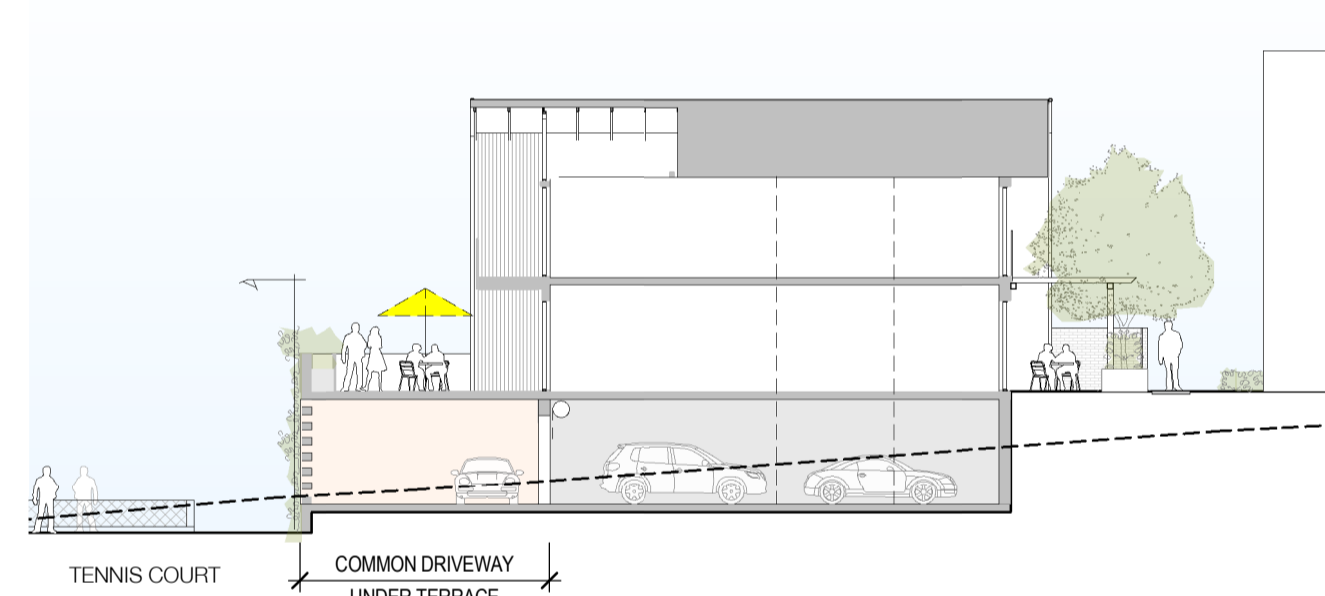
SECTION 1



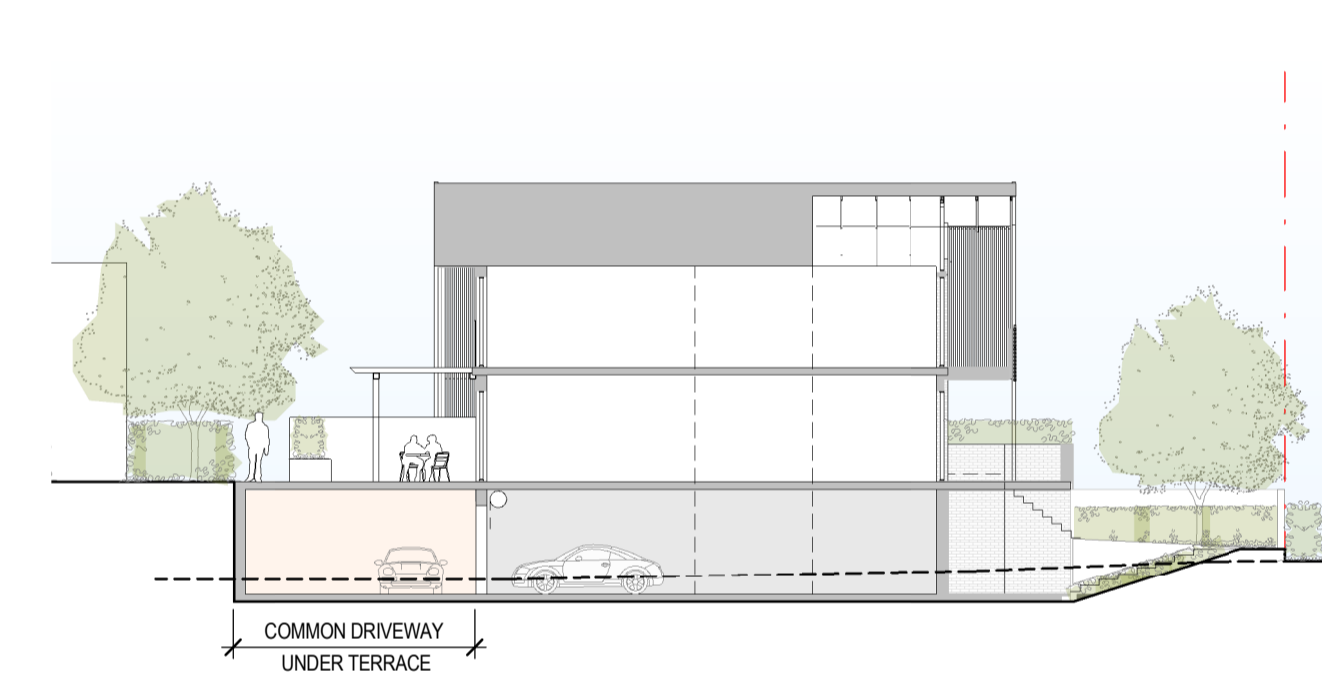
SECTION 2 & 3



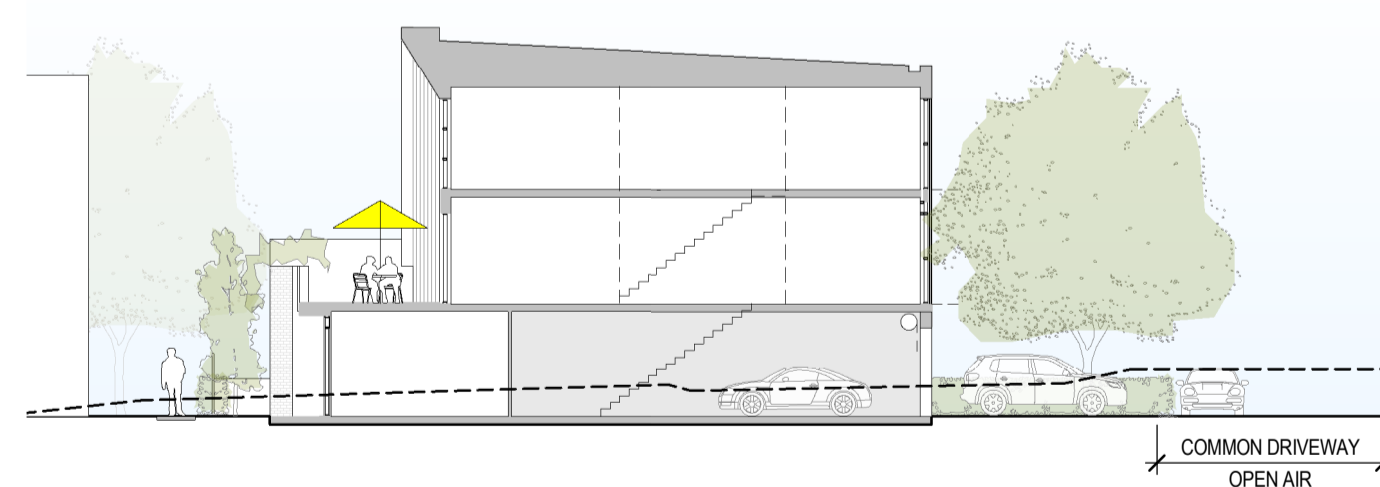
SECTION 4



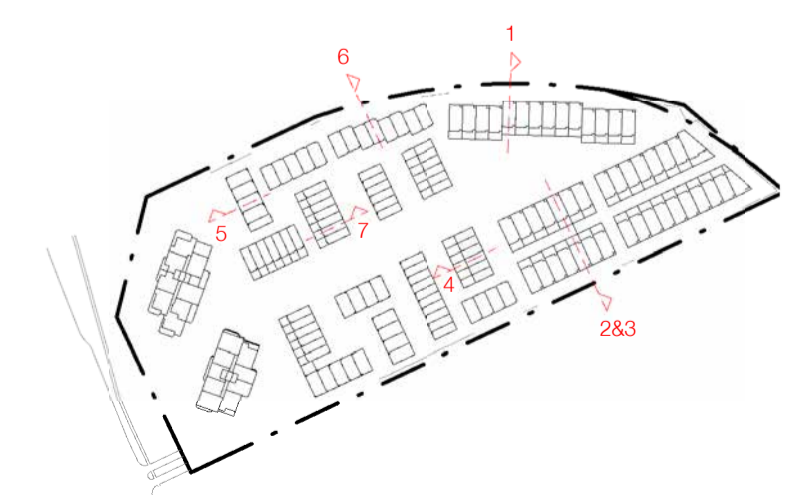
SECTION 5



SECTION 6



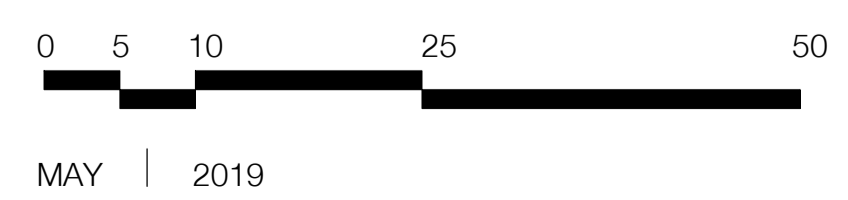
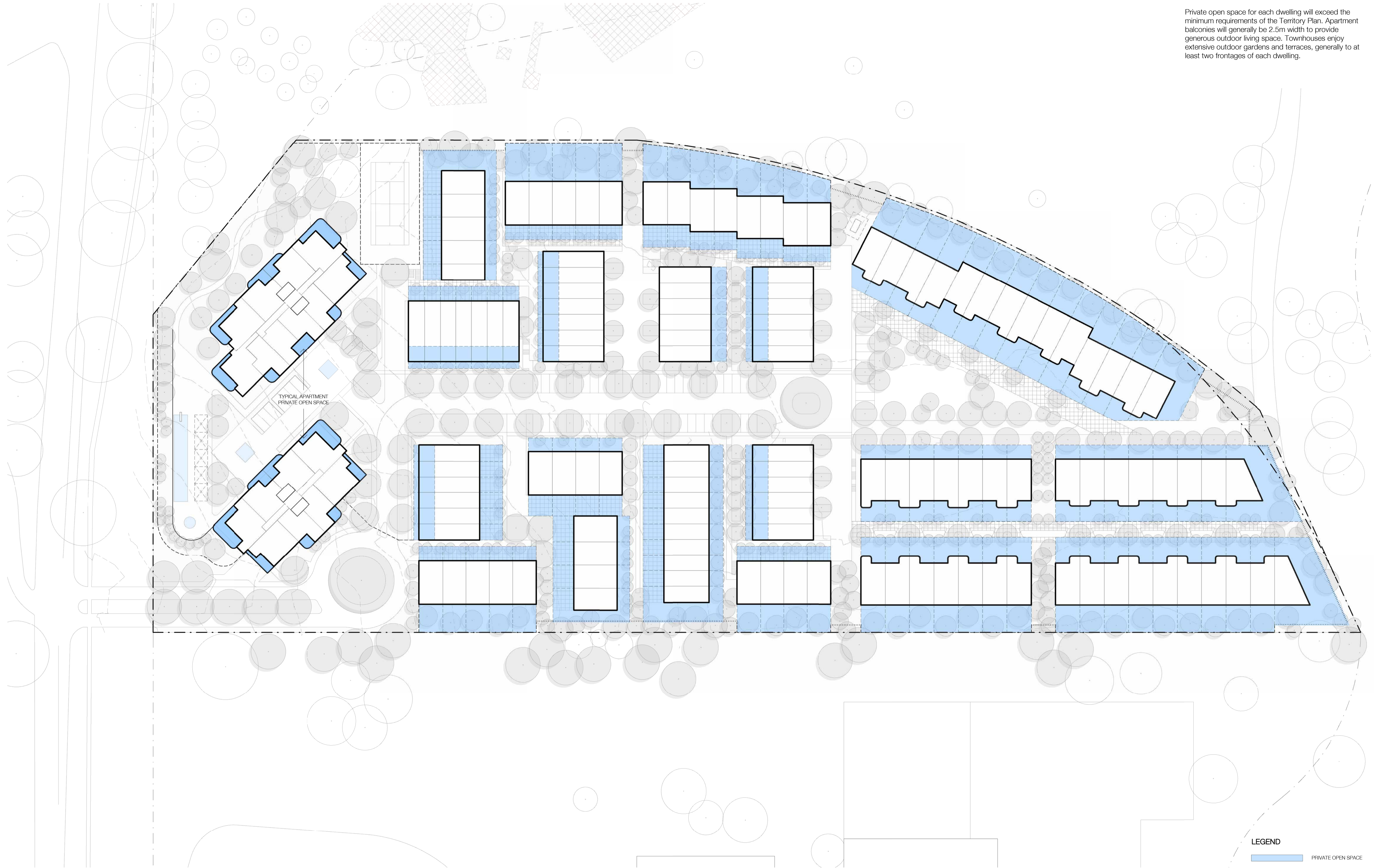
SECTION 7



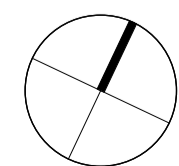
MAY | 2019

PRIVATE OPEN SPACE

Private open space for each dwelling will exceed the minimum requirements of the Territory Plan. Apartment balconies will generally be 2.5m width to provide generous outdoor living space. Townhouses enjoy extensive outdoor gardens and terraces, generally to at least two frontages of each dwelling.

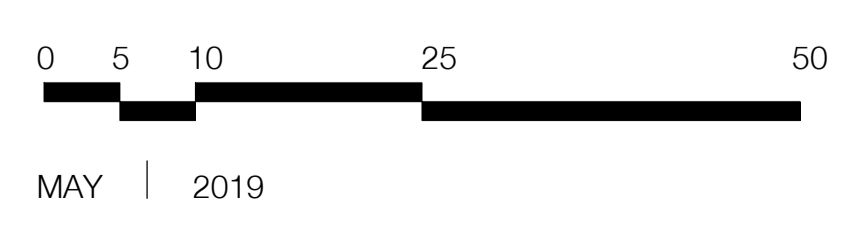
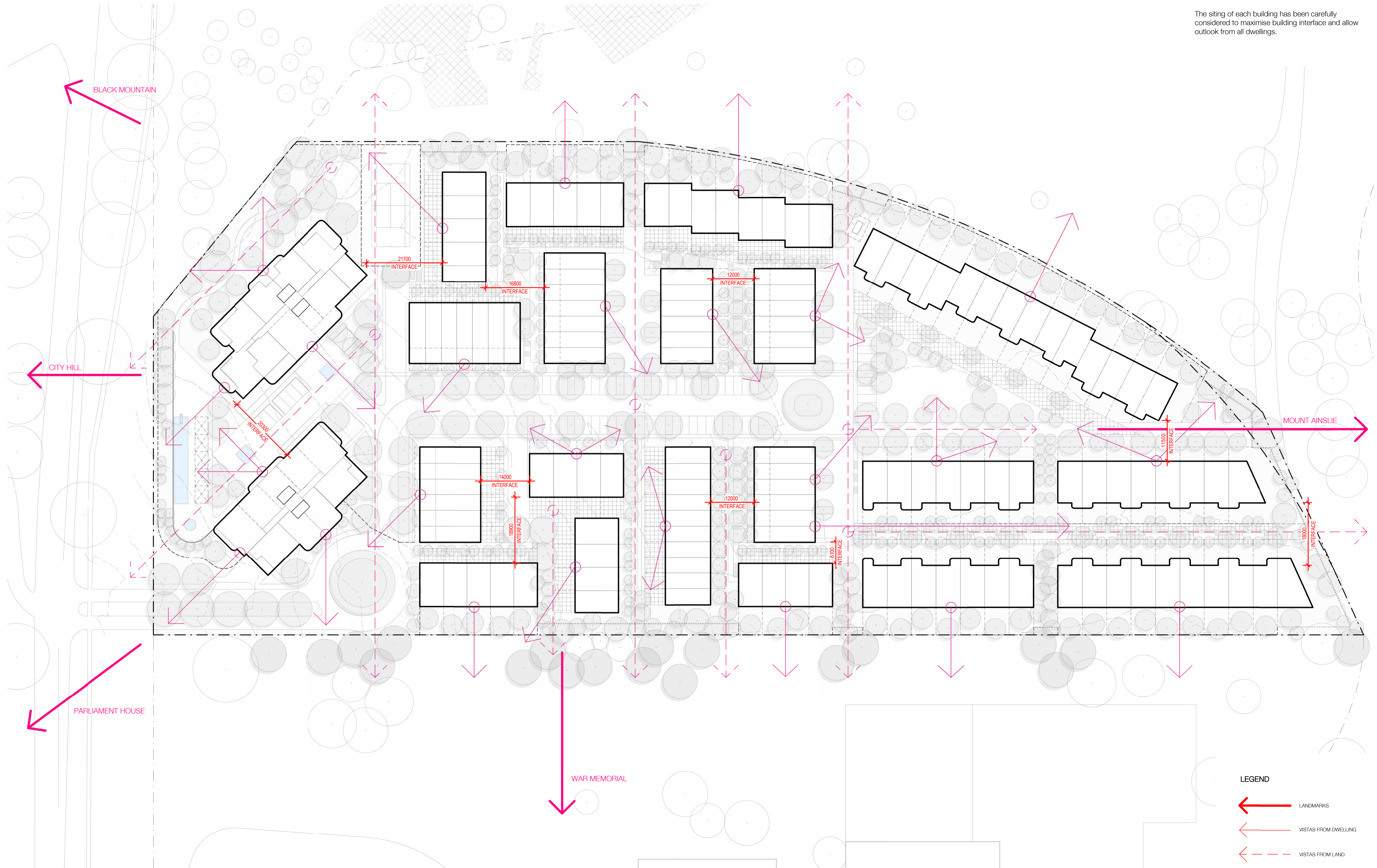


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LEGEND
PRIVATE OPEN SPACE

The siting of each building has been carefully considered to maximise building interface and allow outlook from all dwellings.



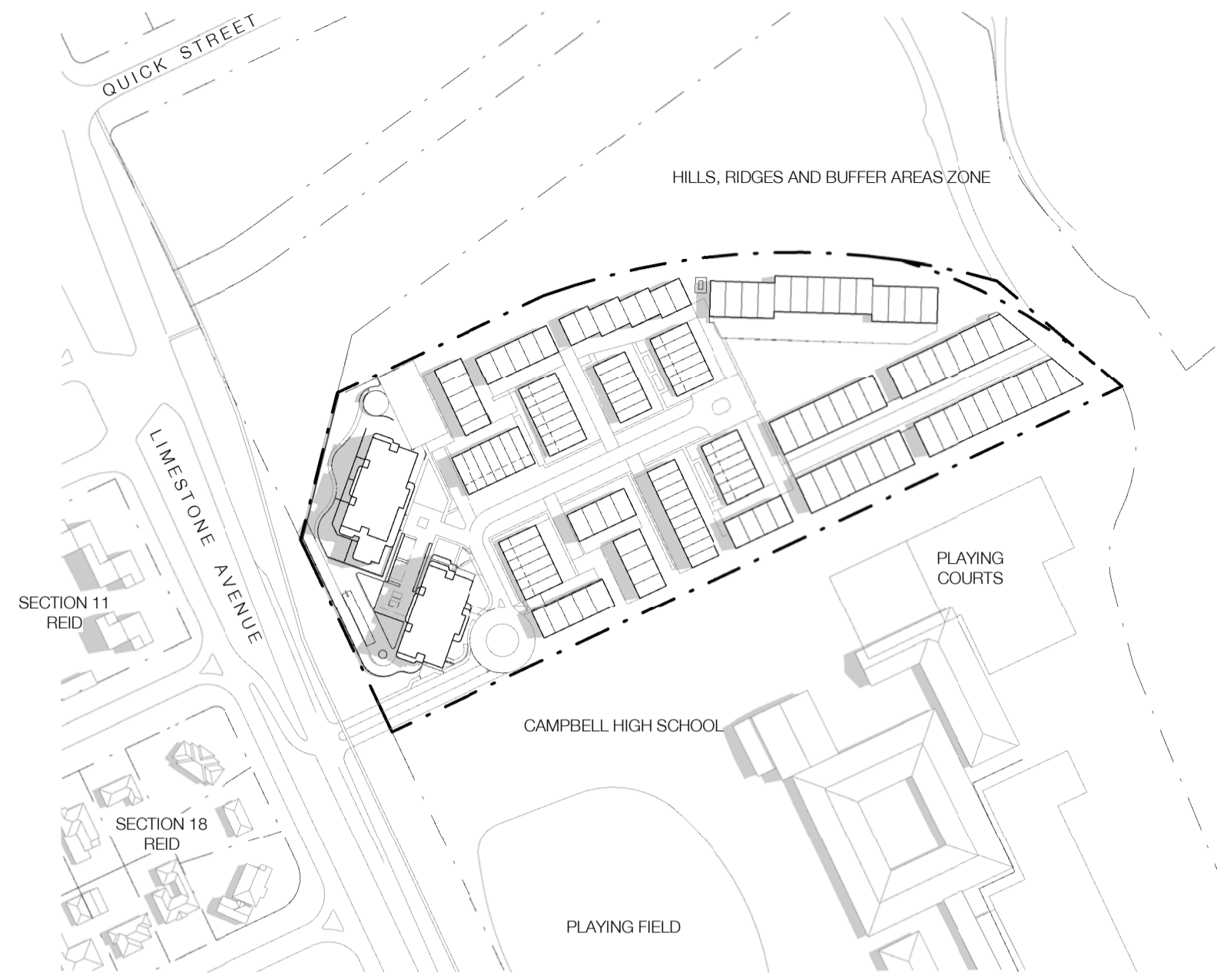
BLOCKS 4 & 5 SECTION 38 CAMPBELL
 SHADOW DIAGRAMS - SUMMER SOLSTICE

Shadow diagrams are provided at half hour intervals from 9.30-10.30am and 2-3pm on the summer and winter solstice (following).

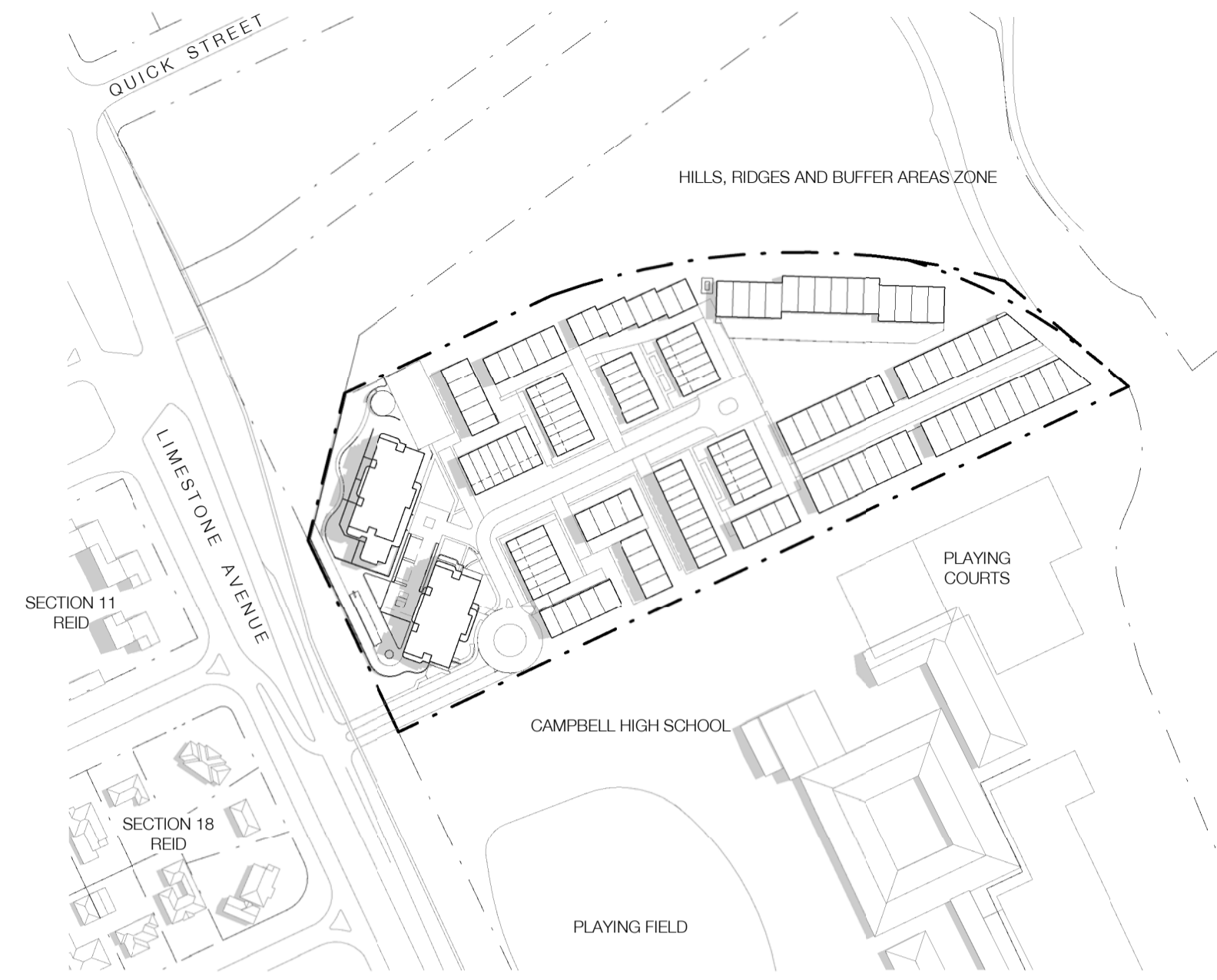
Taller buildings (apartments) are orientated north-south to maximise solar access between buildings to external landscape spaces.

Lower buildings (townhouses) are generally orientated to provide a balance of solar access (to indoor and outdoor spaces), views and privacy.

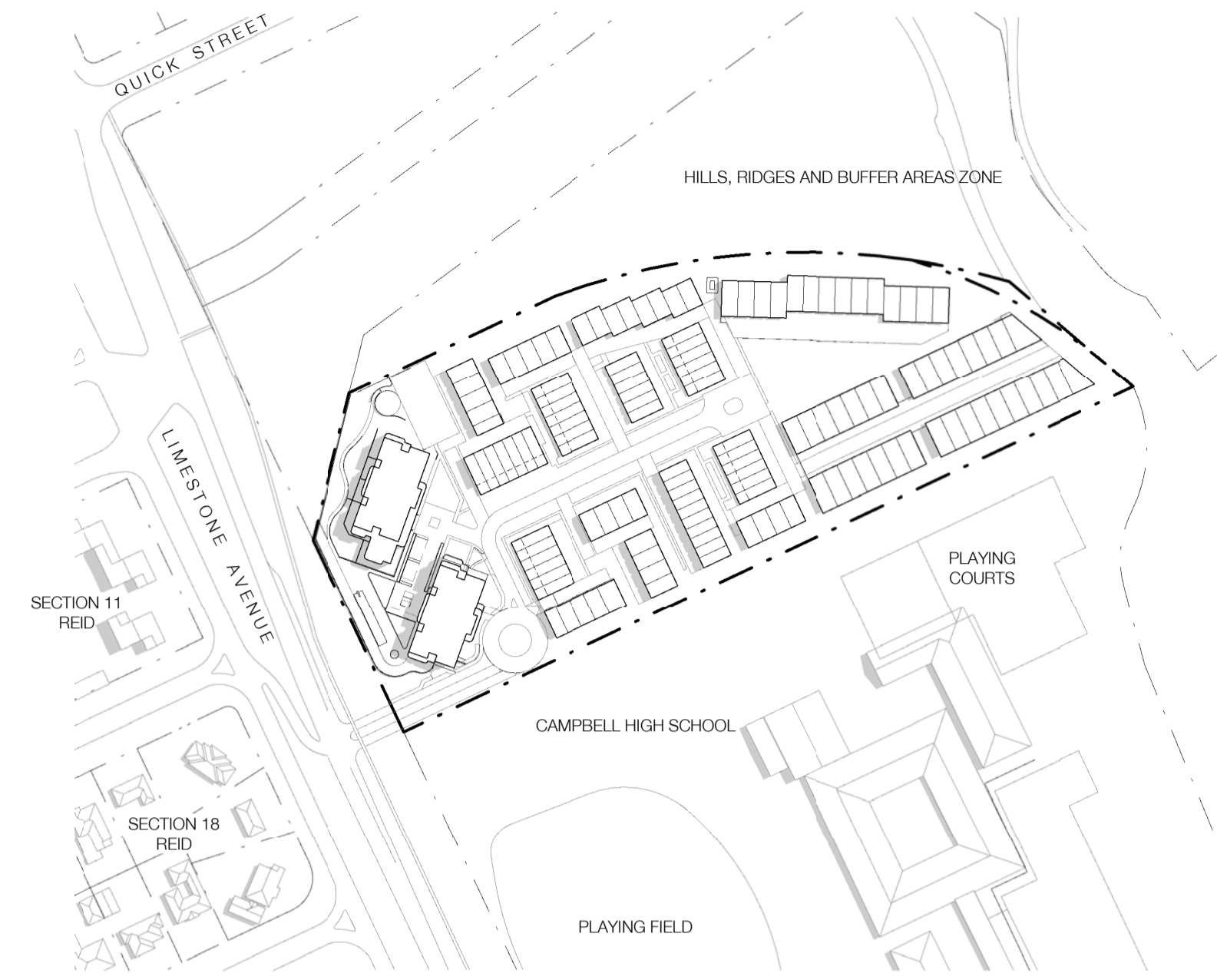
MORNING



SUMMER SOLSTICE 9.30am

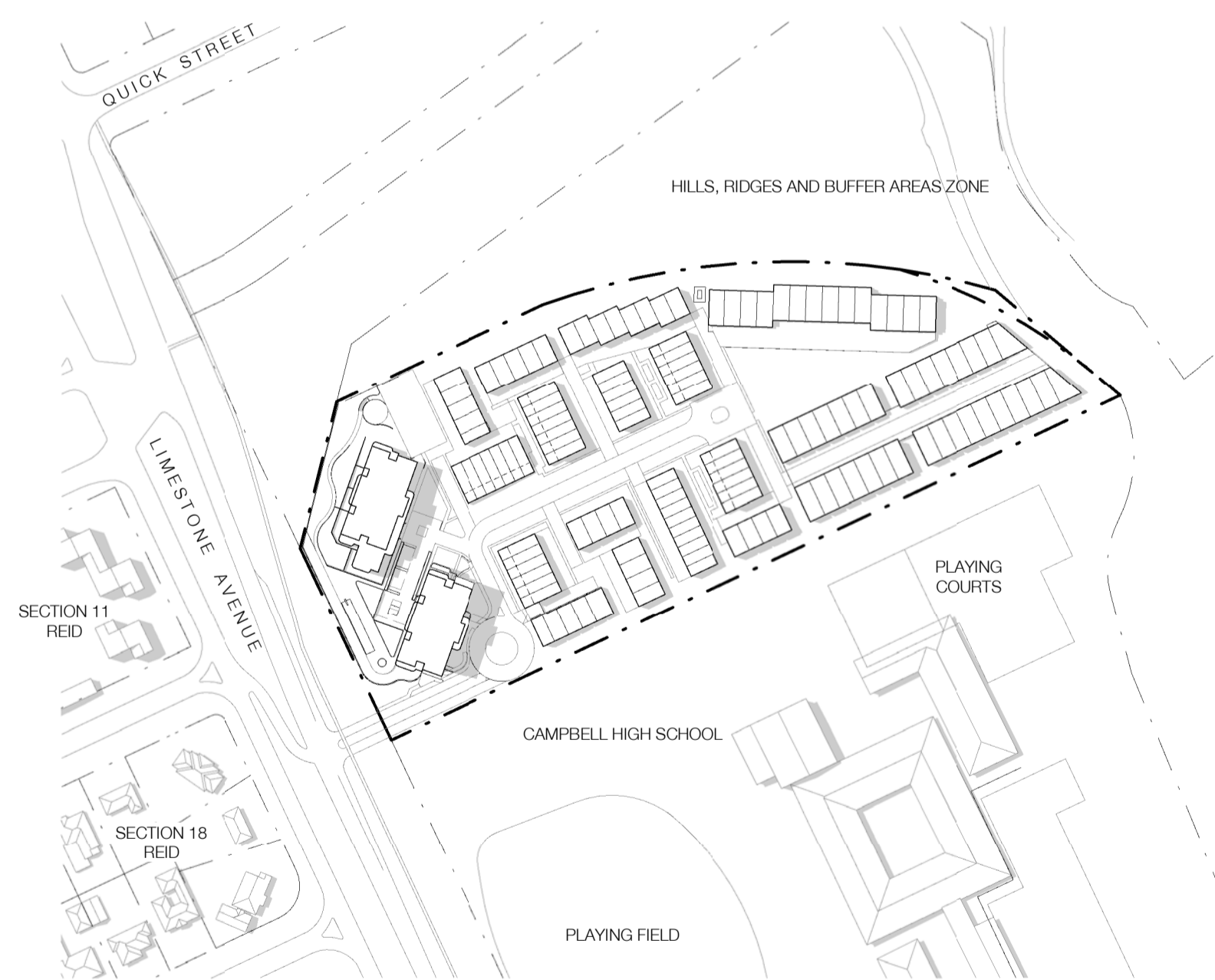


SUMMER SOLSTICE 10.00am

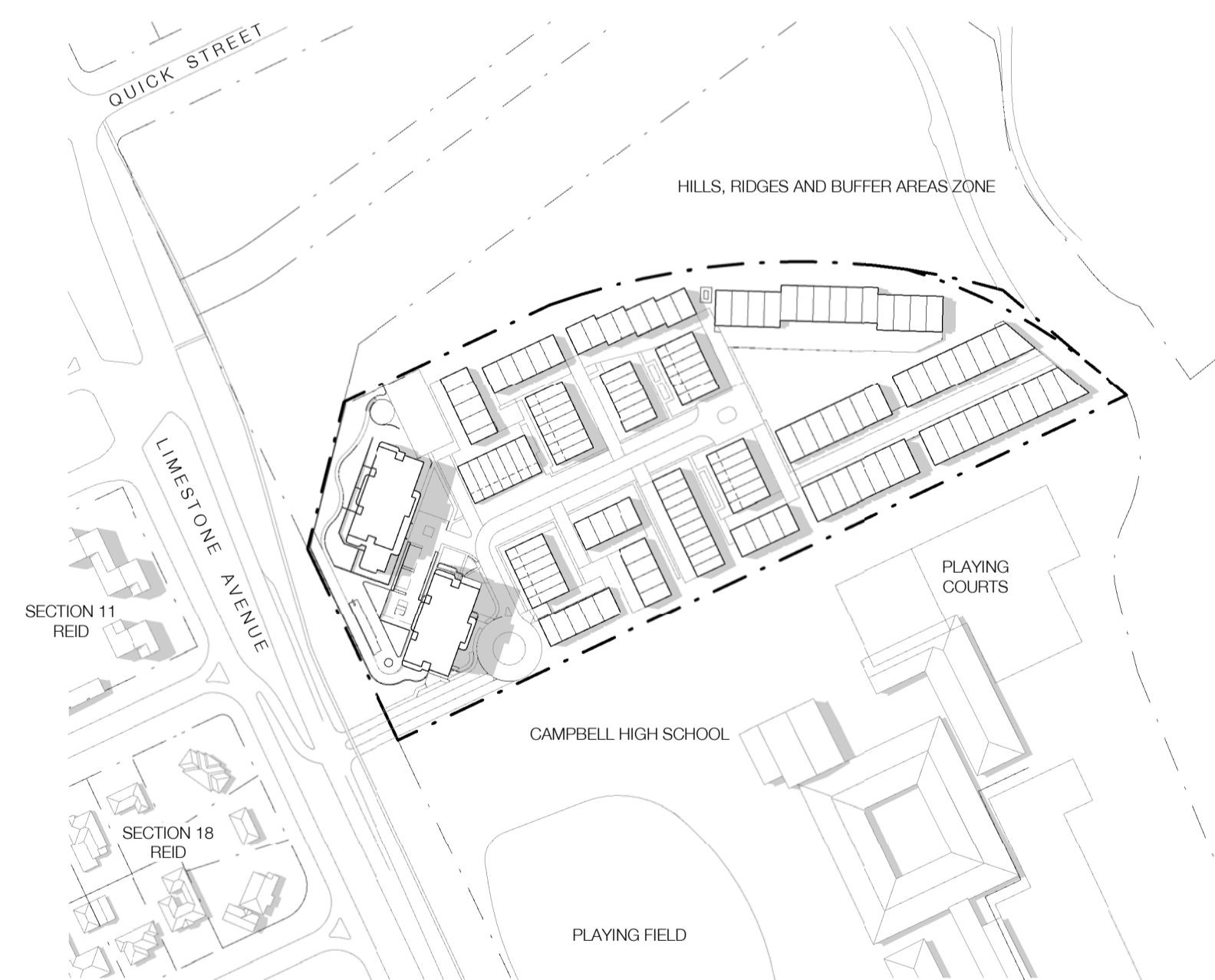


SUMMER SOLSTICE 10.30am

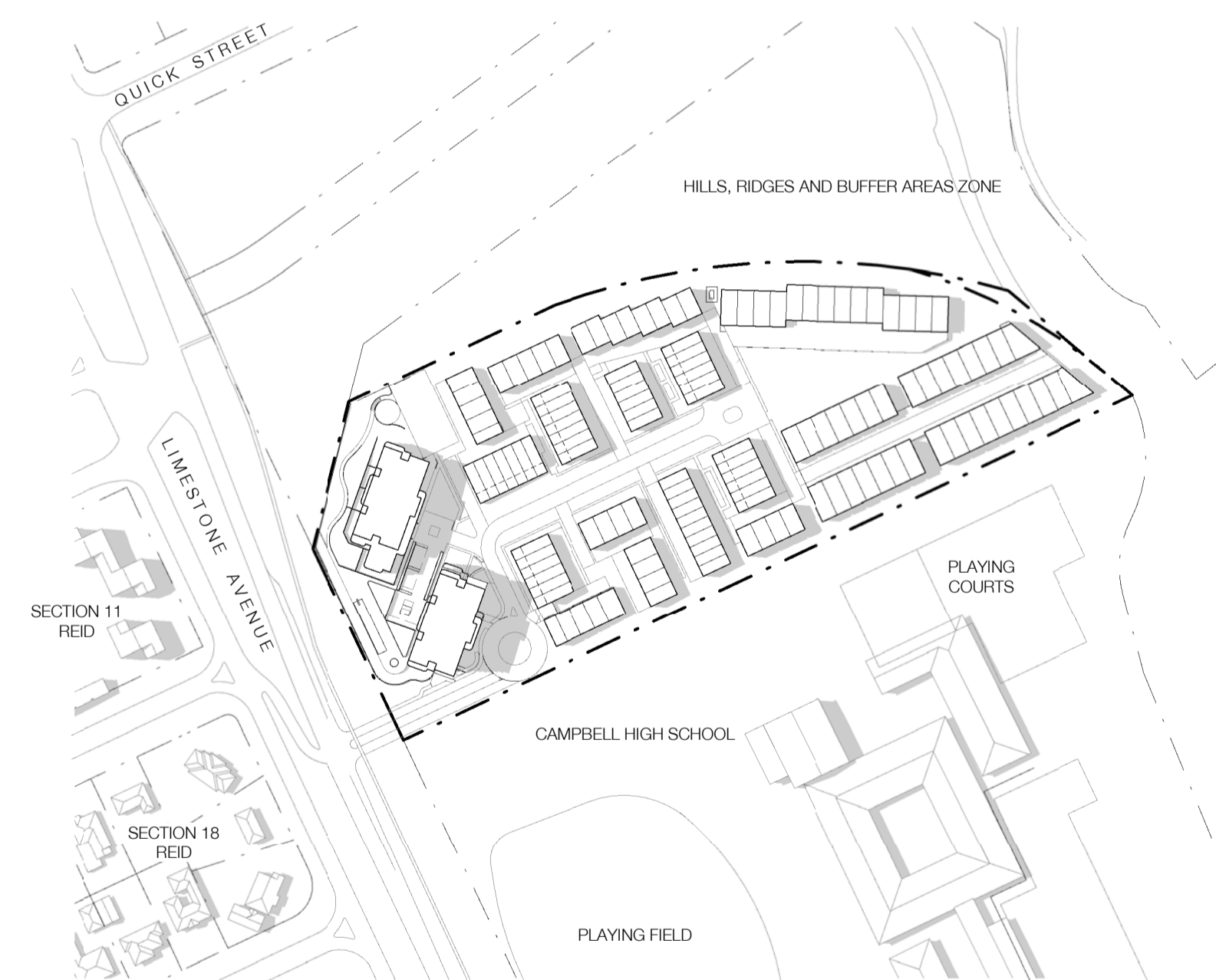
AFTERNOON



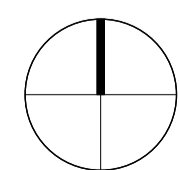
SUMMER SOLSTICE 2.00pm



SUMMER SOLSTICE 2.30pm



SUMMER SOLSTICE 3.00pm



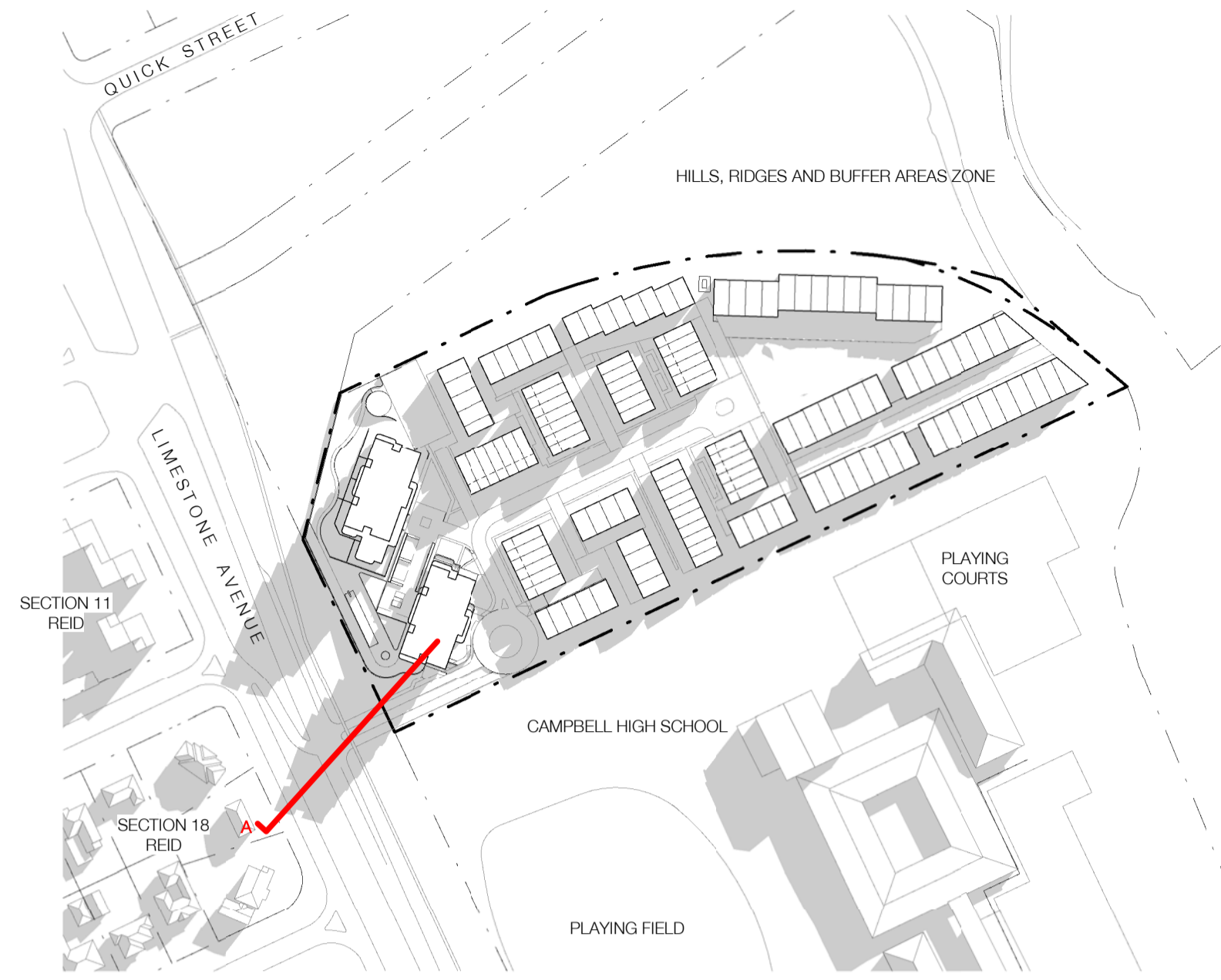
BLOCKS 4 & 5 SECTION 38 CAMPBELL
SHADOW DIAGRAMS - WINTER SOLSTICE

Proposed amendments to the DCP have overshadowing requirements for Section 11 and 18 Reid starting at 9:30am instead of 9am on the winter solstice. Overshadowing of the school playing courts must be minimised during the hours of 9am to 3pm.

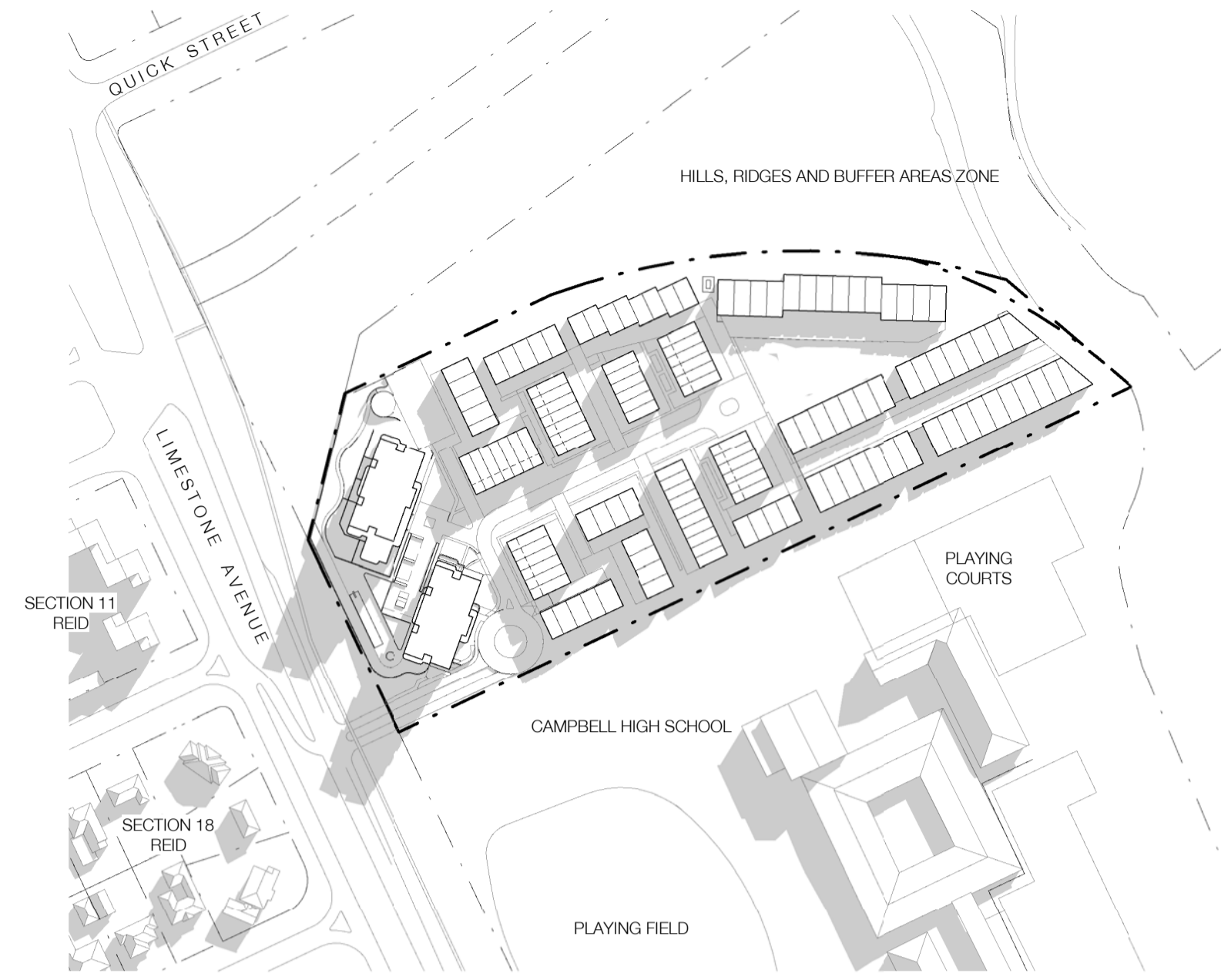
The development concept proposes buildings fronting Limestone Avenue to a height that does not cause overshadowing; consistent with DCP Urban Design Principle 4 - ensuring that buildings do not cast a shadow encroaching Sections 11 or 18 Reid at 9.30am on the 21st of June.

Building forms have been arranged to minimise shadowing of Campbell High School in accordance with DCP Urban Design Principle 5. The proposal will ensure solar access to the playing fields and sports courts, except from 2pm onwards on the winter solstice for the playing courts and 2.20pm onwards for the playing field.

MORNING



WINTER SOLSTICE 9.30am

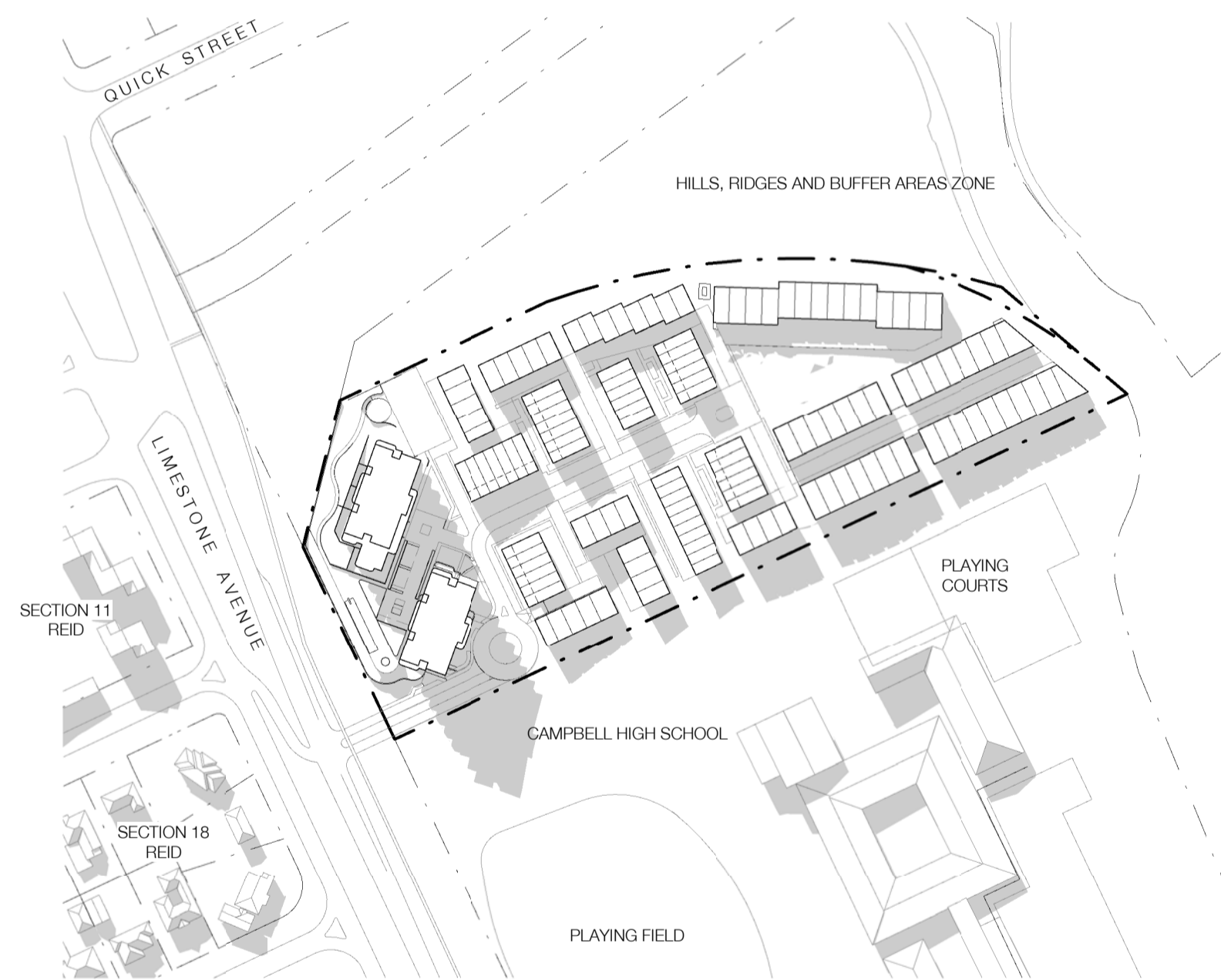


WINTER SOLSTICE 10.00am

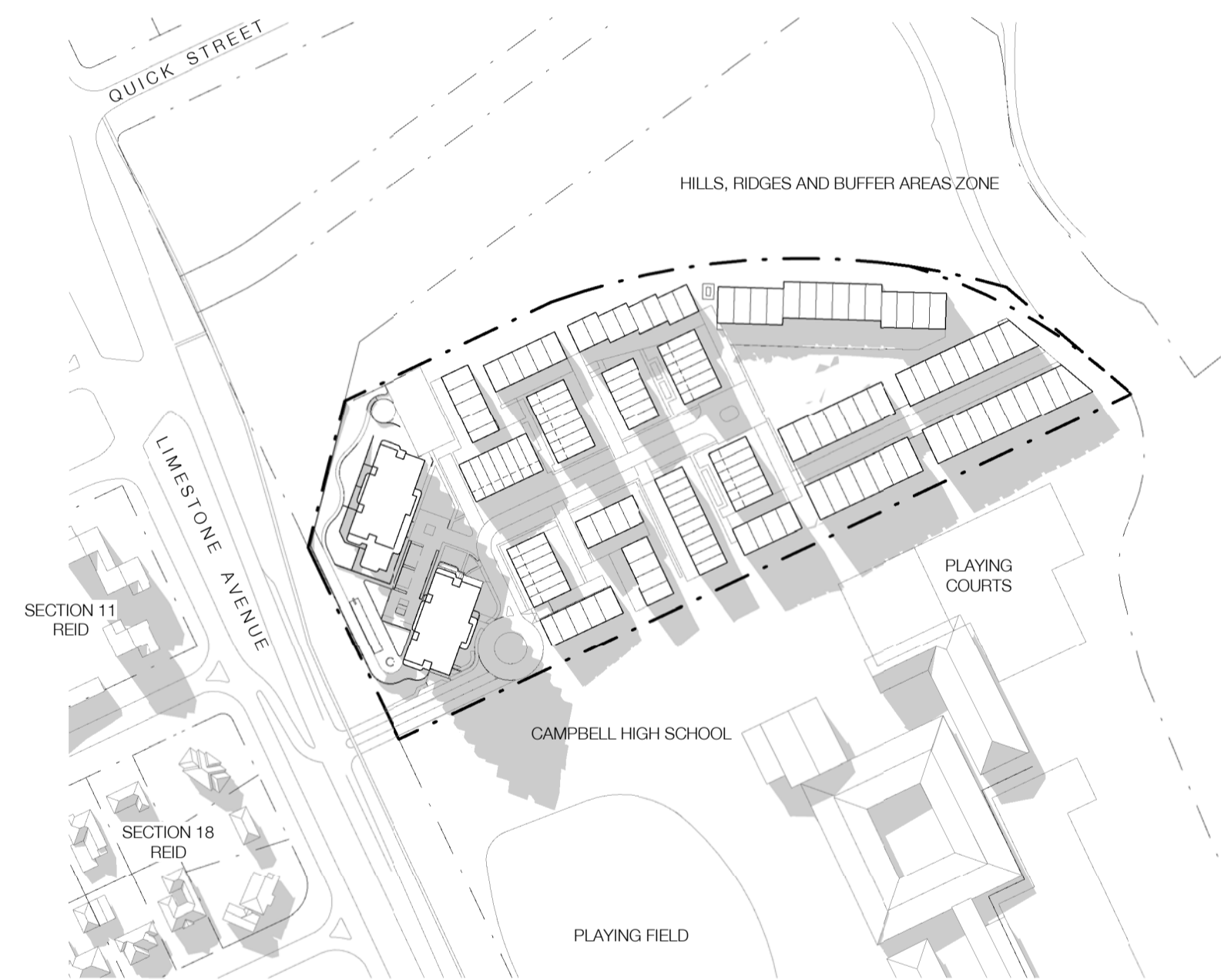


WINTER SOLSTICE 10.30am

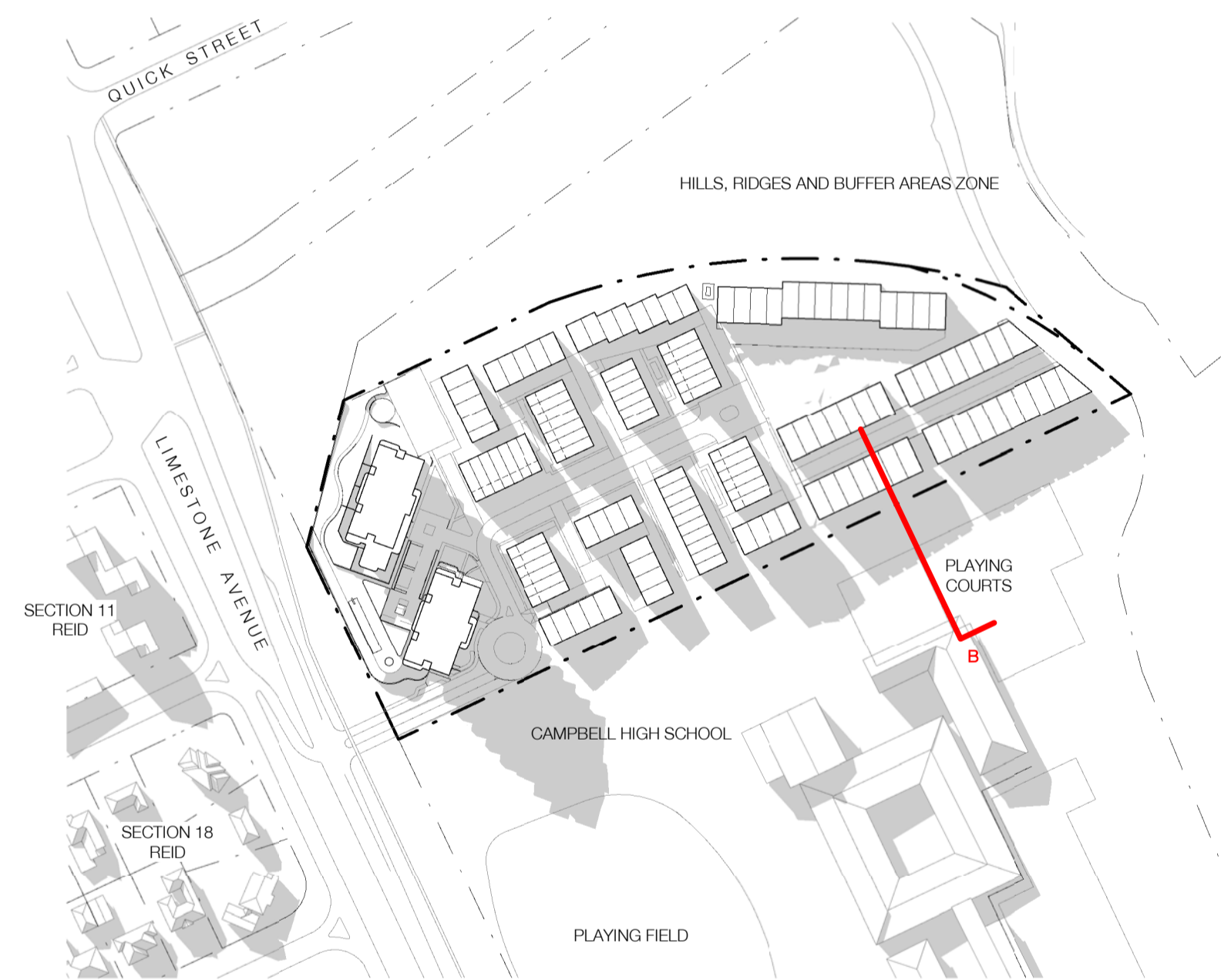
AFTERNOON



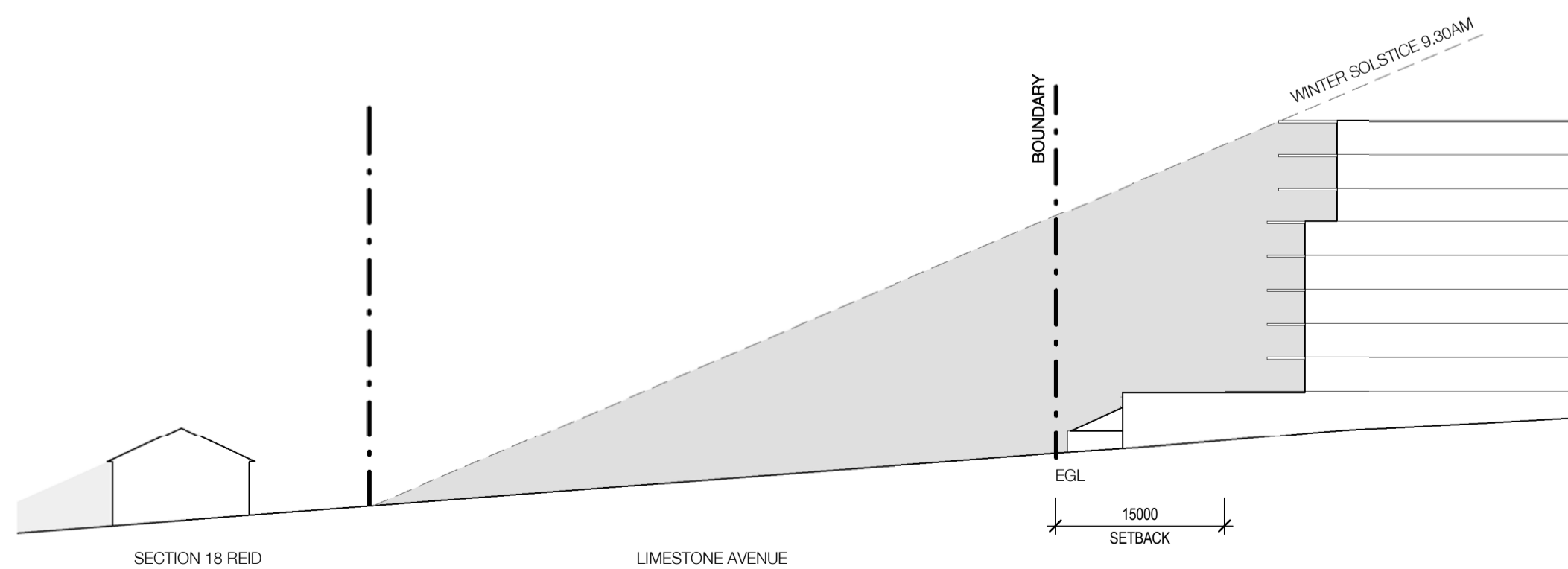
WINTER SOLSTICE 2.00pm



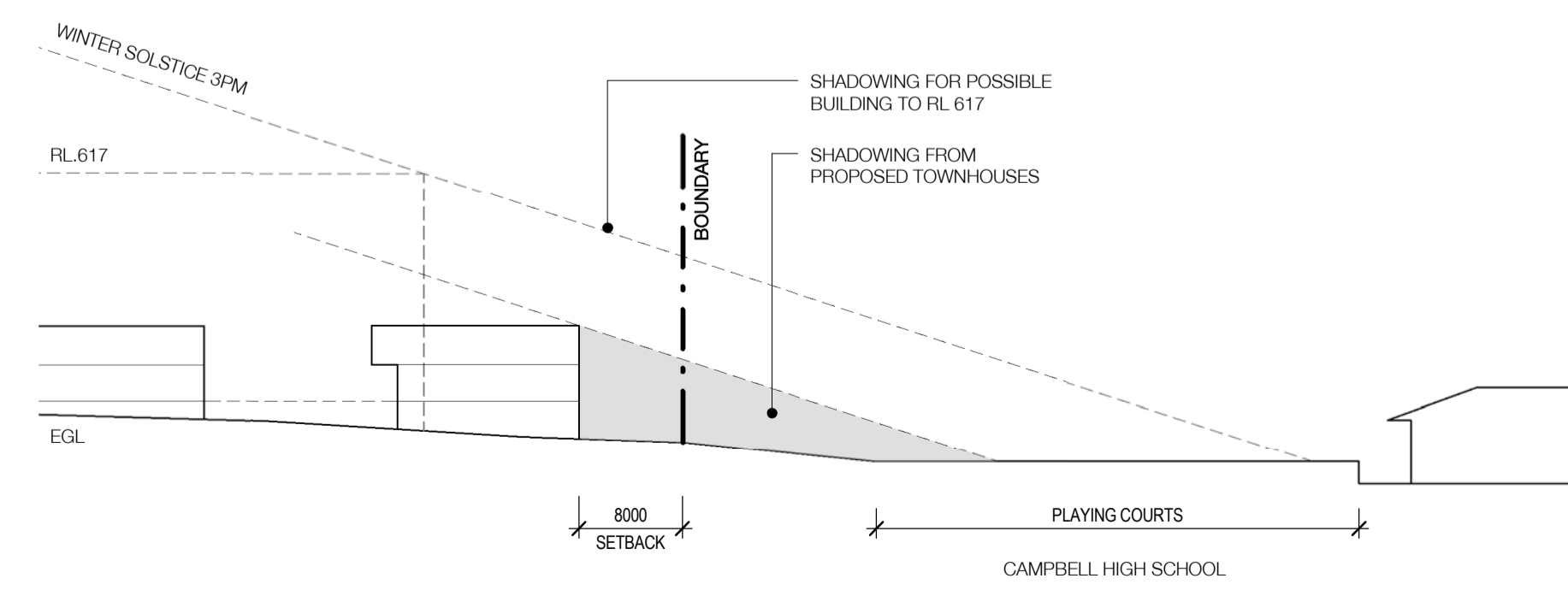
WINTER SOLSTICE 2.30pm



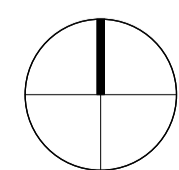
WINTER SOLSTICE 3.00pm



SECTION A



SECTION B



Movement within the precinct will be guided by a high-quality signage strategy. Signage will be integrated into the building form or within the landscape and appropriate to both pedestrian and vehicular movement.

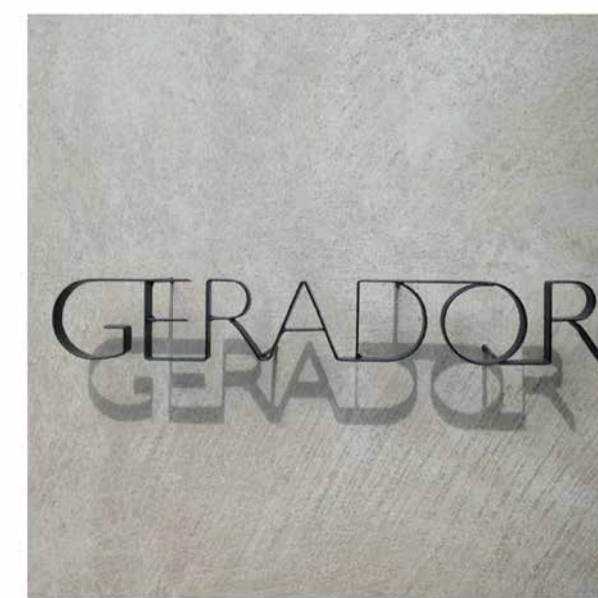
Signage will be installed at the development entry as per the EPBC 2014/7372 requirement.



PRECINCT ENTRY



COMMUNAL SPACES



HOUSING GROUP ENTRIES



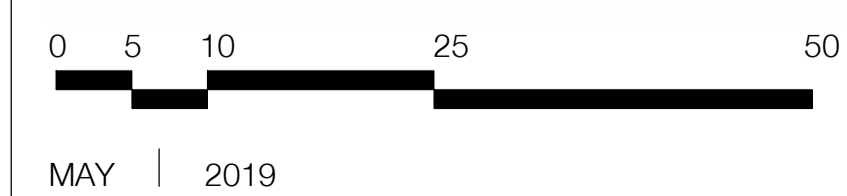
NUMBERS



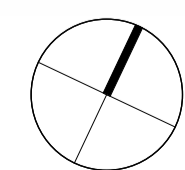
EPBC SIGNAGE



DIRECTIONAL SIGNAGE



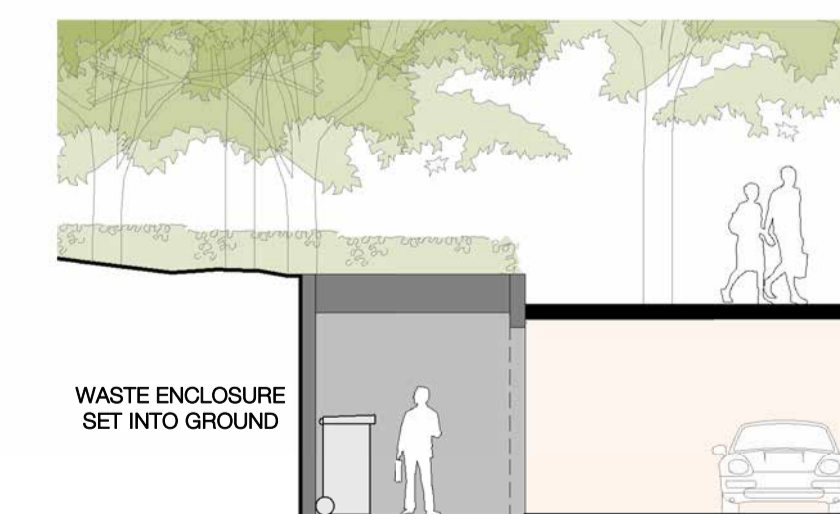
MAY | 2019



BLOCKS 4 & 5 SECTION 38 CAMPBELL
SERVICING

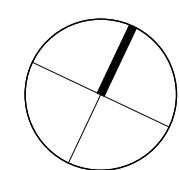
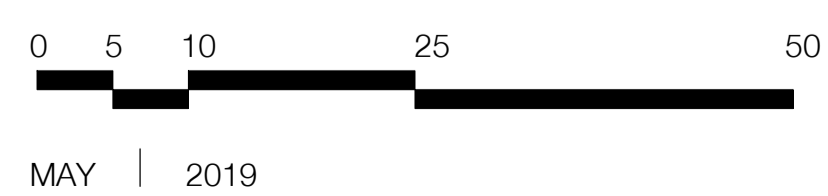
A servicing strategy has been devised which maximises convenience for residents and minimises disturbance.

The main waste room will be located beneath the southern apartment building with temporary waste enclosures integrated beneath the landscape for each grouping of townhouses.



TYPICAL TEMPORARY ENCLOSURE

- LEGEND**
- █ WASTE ENCLOSURE (AIR LOCK)
 - █ TRUCK COLLECTION LOCATION
 - WASTE TRUCK ROUTE
 - RESIDENT WASTE ROUTE (GROUND LEVEL)
 - RESIDENT WASTE ROUTE (GARAGE LEVEL)
 - BODY CORPORATE WASTE ROUTE
 - * TEMPORARY ENCLOSURE (BENEATH GROUND)

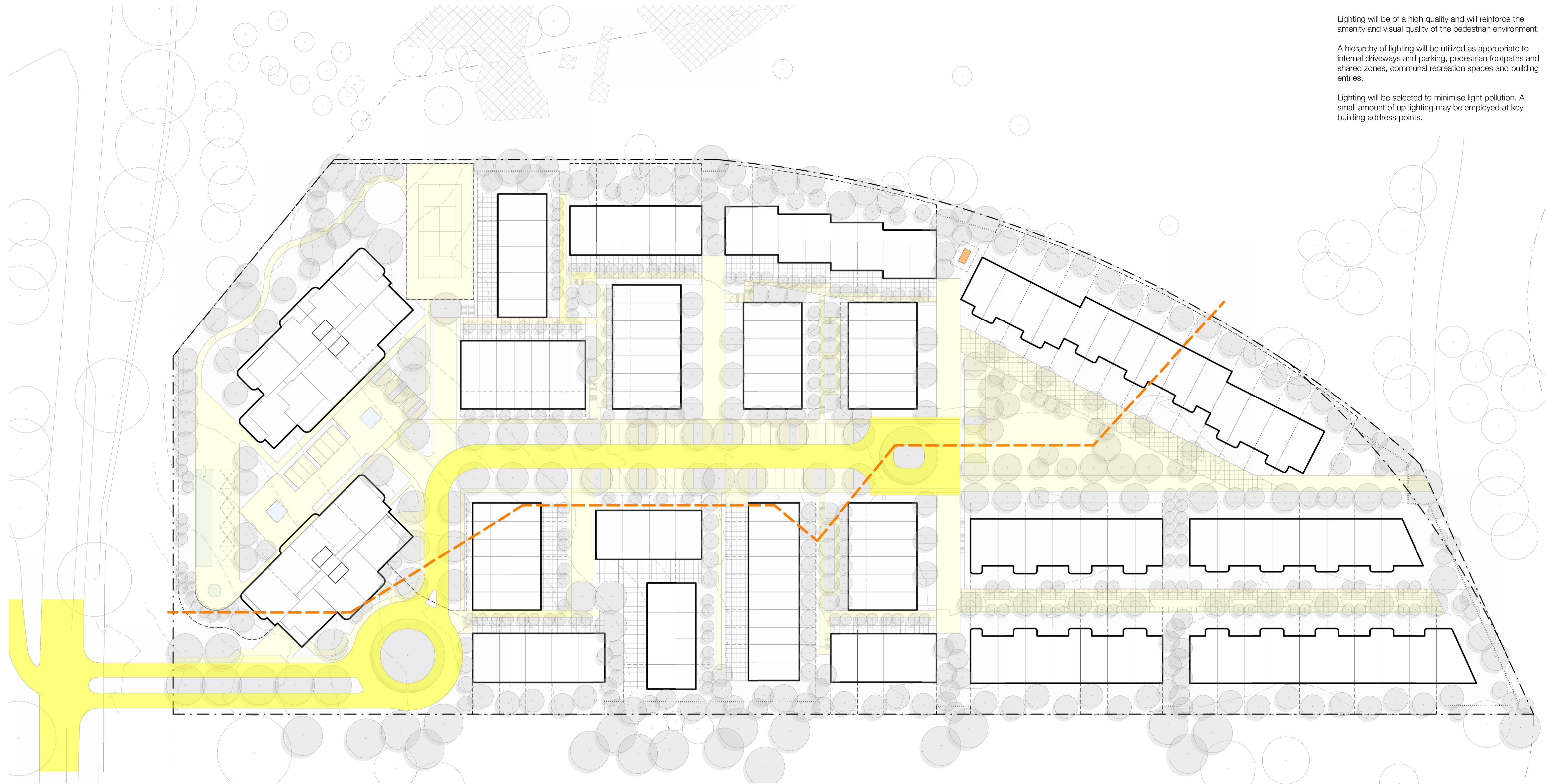


BLOCKS 4 & 5 SECTION 38 CAMPBELL
ELECTRICAL & LIGHTING

Lighting will be of a high quality and will reinforce the amenity and visual quality of the pedestrian environment.

A hierarchy of lighting will be utilized as appropriate to internal driveways and parking, pedestrian footpaths and shared zones, communal recreation spaces and building entries.

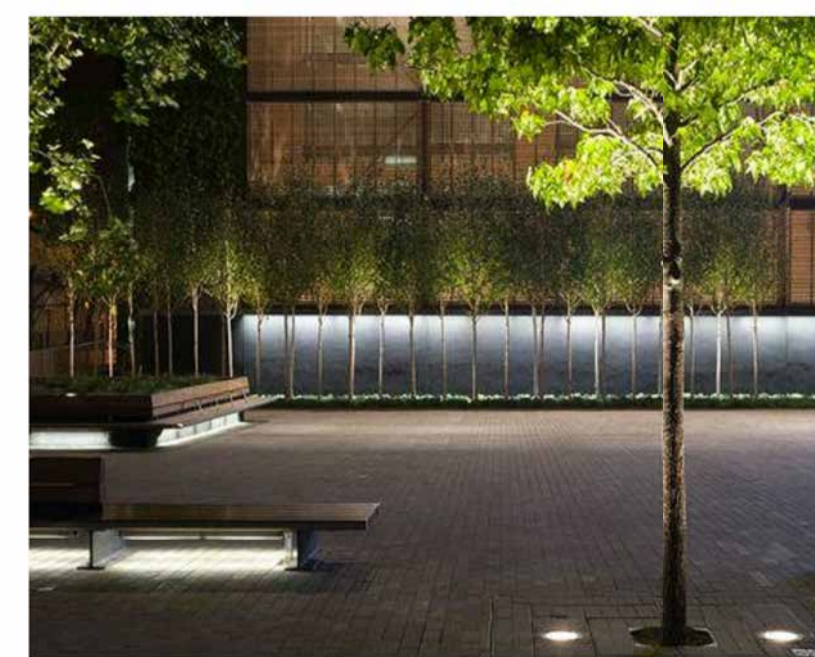
Lighting will be selected to minimise light pollution. A small amount of up lighting may be employed at key building address points.




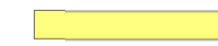


STREET LIGHTING



PEDESTRIAN LIGHTING

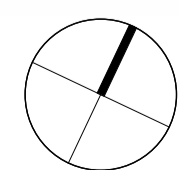


LEGEND

-  EXISTING HV LINE (TO BE RELOCATED)
-  STREET LIGHTING
-  PEDESTRIAN LIGHTING
-  SUBSTATION

0 5 10 25 50

MAY | 2019

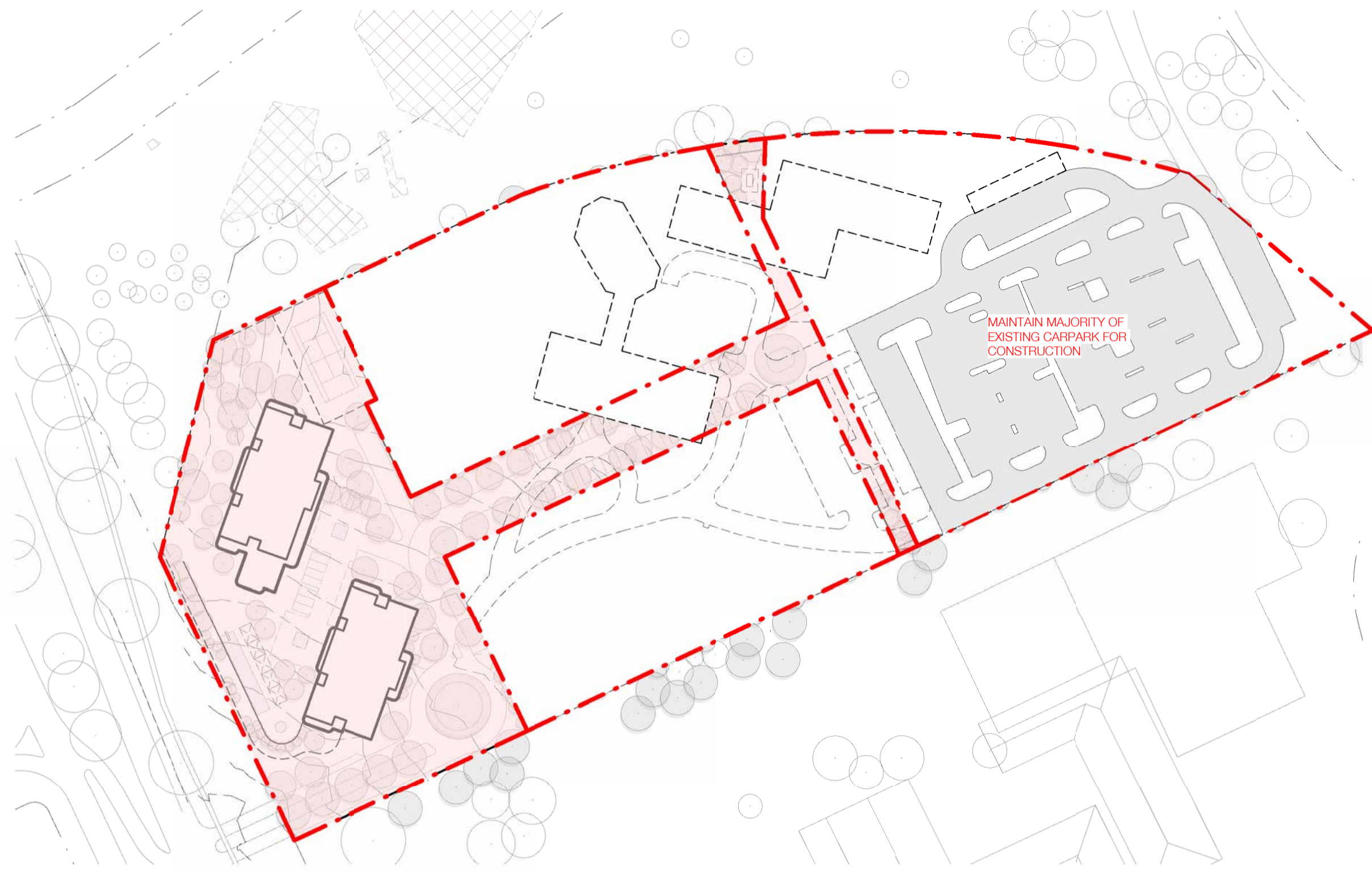


BLOCKS 4 & 5 SECTION 38 CAMPBELL
DEVELOPMENT STAGING

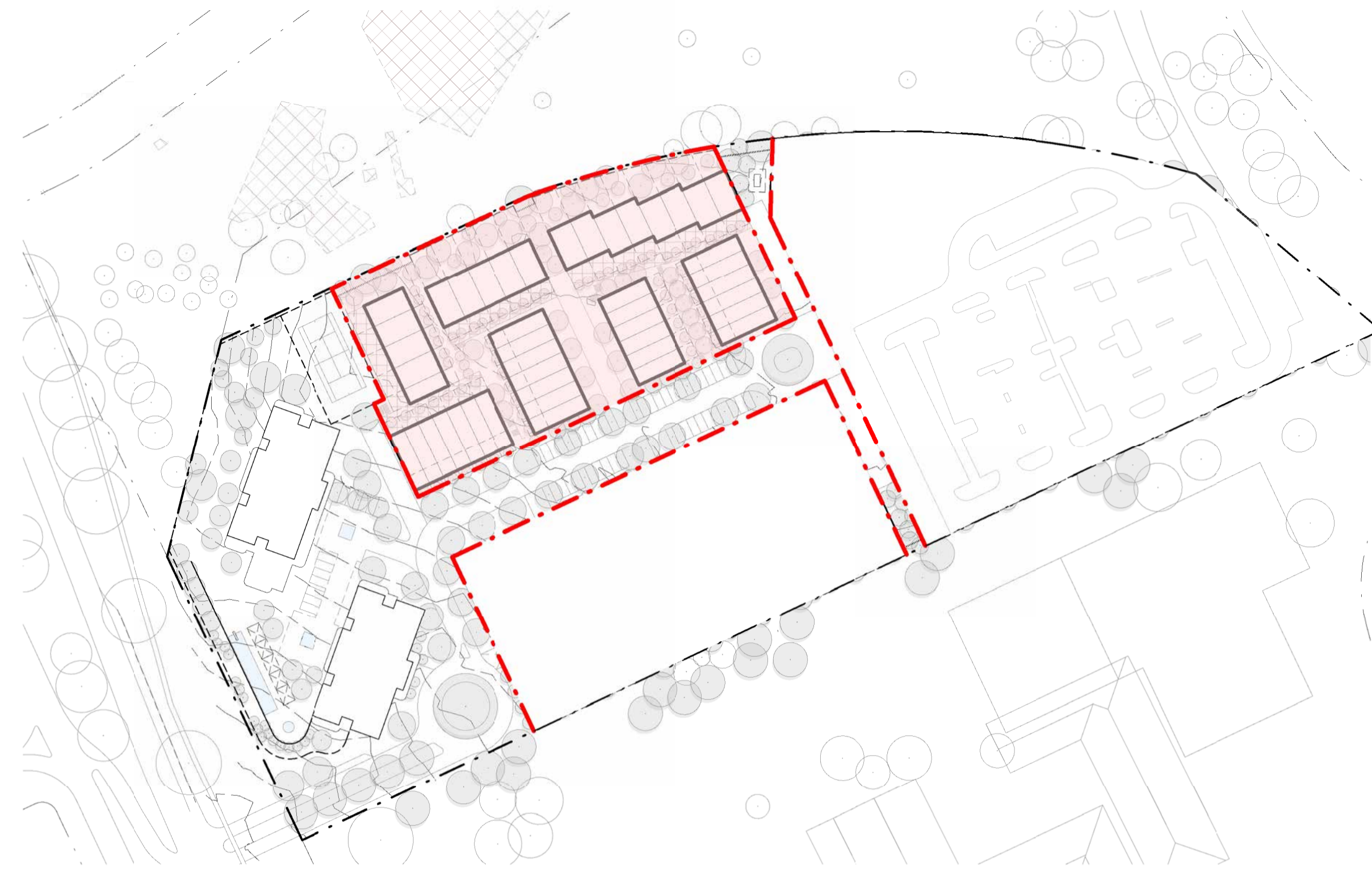
The design concept allows for staged development whilst minimizing impact on residents and the wider community.

The first stage of the development along Limestone Avenue provides the entry building to the precinct including all communal facilities. It is likely that the existing hardstand parking will be retained during construction of Stage 1 to provide parking for construction workers.

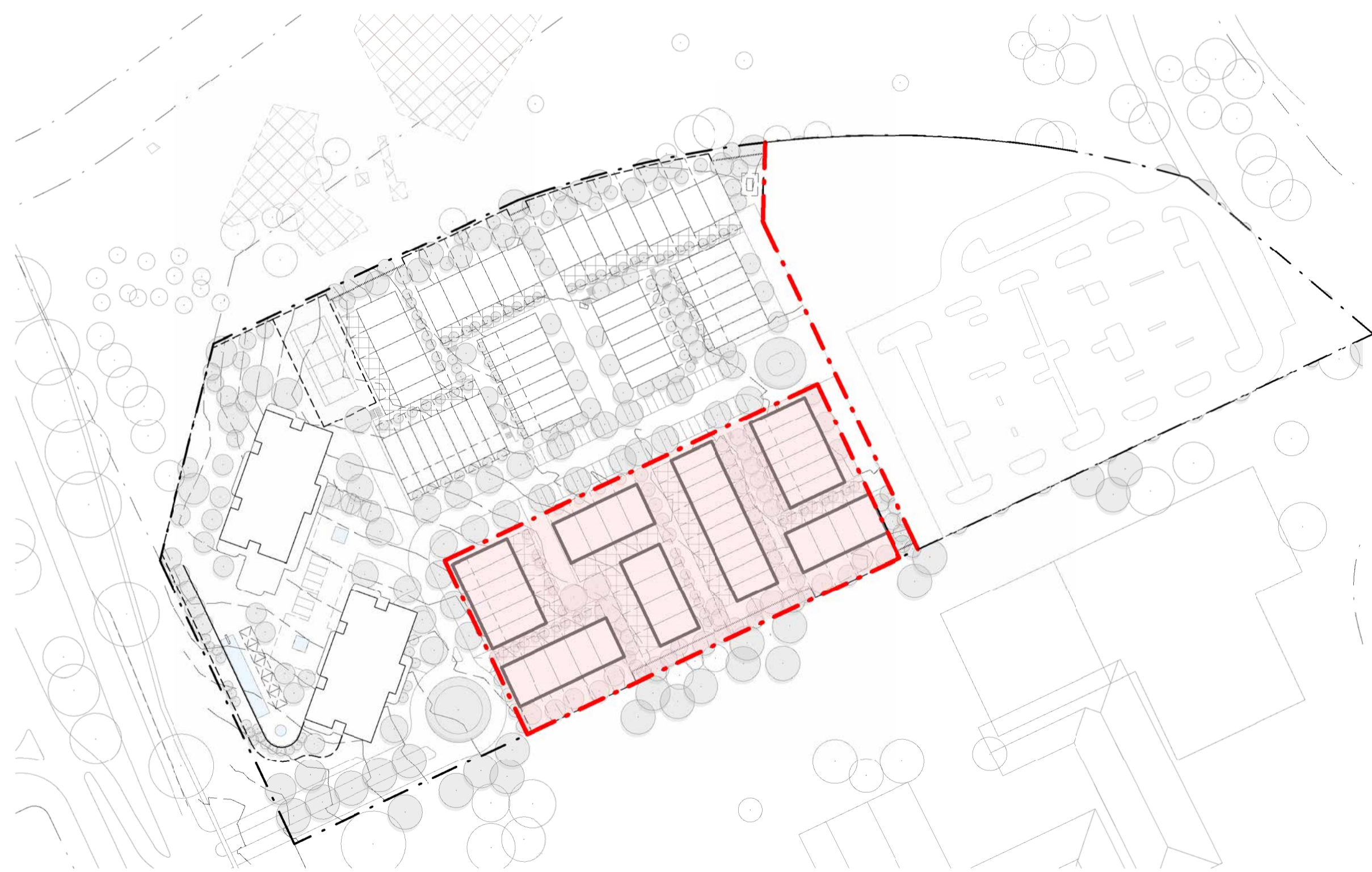
The townhouses will be constructed in ongoing stages of development to provide an immediate mix of dwelling types within the precinct and with consideration of minimising the impact of construction vehicles within completed residential stages.



STAGE 1
NOTE: PRIOR TO STAGE 1 EXISTING BUILDINGS ON SITE ARE TO BE DEMOLISHED



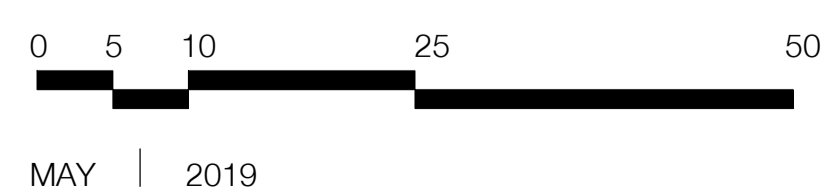
STAGE 2



STAGE 3



STAGE 4



CAMPBELL SECTION 38

CONCEPT PLAN

PROJECT NO.	16_029
DOC.	001 REV G
DATE	05.06.2019

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+61 02 6232 6582 / +61 04 1728 9042

STEWART
ARCHITECTURE

DOMA

EXISTING SITE



The site is located on Limestone Avenue at the foothills of Mt Ainslie. The landform is relatively steep with a plateau area on the eastern side to the road on the west. The vegetation on the site is predominantly native.

There are physical and visual links to Mt Ainslie and the adjacent nature reserve. Due to the elevation of the site it is visually connected with Civic, the lake, Parliament House and is visible from Ainslie Avenue, Campbell High School and the Australian War Memorial.

The proposed amended DCP:

- screening of the development from the adjoining Campbell High School
- enhancement of the existing streetscape
- EPBC requirement for impermeable fencing along boundary
- EPBC requirement for 1m buffer along northern boundary

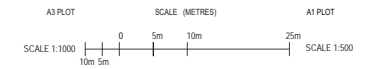


CONCEPT PLAN



LEGEND



- | | | | | |
|--|---|---|---|--|
| SITE BOUNDARY | PEDESTRIAN PAVING | EVERGREEN TREES | SHRUB BED
PREDOMINATELY EXOTIC
SHRUBS AND GROUNDCOVERS | EXTENT OF EXISTING
ROCK OUTCROPS |
| CAR PARKING
BASEMENT UNDER
PLANTING IN RAISED PLANTER
BOXES AND POTS | PRIVATE OPEN SPACE
TERRACE
BASEMENT PARKING UNDER | EVERGREEN TREES
NATIVES | SHRUB BED
NATIVE SHRUBS AND
GROUNDCOVERS | EXISTING ROCK OUTCROPS
TO BE RETAINED |
| FENCING / WALLS
WHEN NOT ON PROPERTY BOUNDARY,
REFER TO ARCHITECTS DRAWINGS FOR
TYPES | VEHICLE PAVING | DECIDUOUS TREES | TURF | ROCK TREATMENT
USING SITE ROCKS |
| EXISTING TREES TO BE
RETAINED
LIMESTONE AVENUE VERGE | CAR PARKING AND
SHARED ZONE PAVING
UNIT PAVING | DECIDUOUS TREES
FEATURE SPECIMENS | PRIVATE OPEN SPACE
PLANTING ZONE - NATIVE UNDER STOREY
SHRUB BED PLANTING AND TURF AREAS | FEATURE ROCK OUTCROPS
USING SITE ROCKS AND BOULDERS |
| POOL
REFER ARCHITECTS DRAWINGS | CLIMBERS
TO WALLS AND STRUCTURES | SMALL DECIDUOUS TREES
ORNAMENTAL FEATURE TREES | PRIVATE OPEN SPACE
PLANTING ZONE - PREDOMINATELY
EXOTIC UNDER STOREY SHRUB BED
PLANTING AND TURF AREAS | STEPPING STONES
THROUGH GARDEN BEDS |

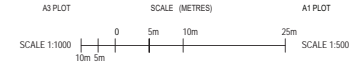


OPENSACE AREAS



LEGEND

-  SITE BOUNDARY
-  FENCING / WALLS
WHEN NOT ON PROPERTY BOUNDARY.
REFER TO ARCHITECTS DRAWINGS FOR
TYPES
-  EXISTING TREES TO BE
RETAINED
LIMESTONE AVENUE VERGE
-  PRIVATE OPENSACE TREES
-  PUBLIC SPACE TREES
-  PUBLIC GREEN SPACE



CAMPBELL SECTION 38

CONCEPT PLAN

16_029 June 2019

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STEWART
ARCHITECTURE

DOMA

PLANT MATERIALS

BOUNDARY / INFILTRATION PLANTS

NATIVE EVERGREEN TREES



Allocasuarina verticillata



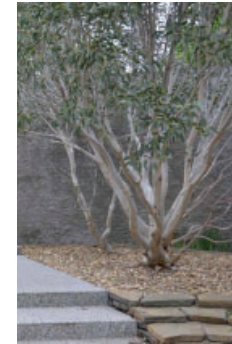
Banksia integrifolia



Eucalyptus leucoxylon
'Euky Dwarf'



Eucalyptus mannifera
'Little Spotty'



Eucalyptus pauciflora
'Little Snowman'

AVENUES

EXOTIC DECIDUOUS TREES



Platanus orientalis



Ulmus parvifolia



Zelkova serrata

PODIUM / INTERNAL AREAS

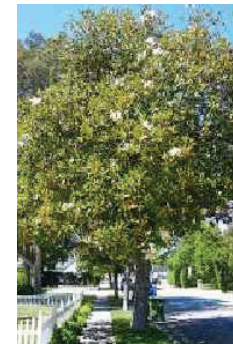
EXOTIC EVERGREEN TREES



Arbutus unedo



Laurus nobilis



Magnolia species



Olea europaea

EXOTIC DECIDUOUS TREES



Acer palmatum 'Senkaki'



Lagerstroemia indica
'Natchez'



Magnolia soulangeana



Pyrus species

SHRUBS AND GROUNDCOVERS

NATIVE



Acacia cognata 'Limelight'



Callistemon species



Casuarina glauca prostrate



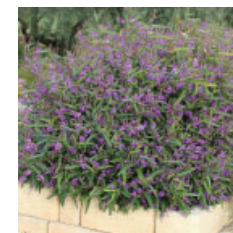
Correa 'Dusky Bells'



Correa glabra
'Ivory lantern'



Grevillea lanigera
'Mt tamboritha'



Hardenbergia violacea



Lomandra longifolia
'Tanika'



Myoporum parvifolium

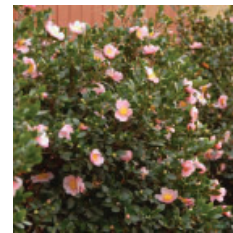


Poa labillardieri 'Eskdale'



Westringia species

EXOTIC



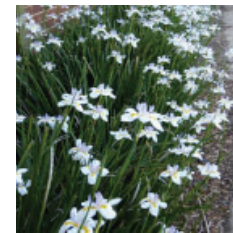
Camellia sasanqua



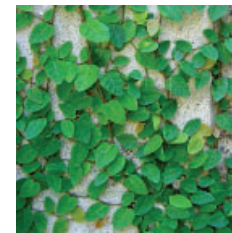
Cephalotaxus harringtonia
'Fastigiata'



Cycas revoluta



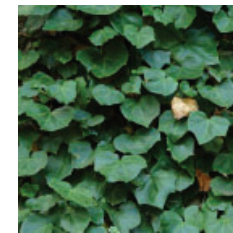
Dietes grandiflora



Ficus pumila



Hebe albicans



Hedera canariensis



Juniperus horizontalis
'Blue Rug'



Lonicera nitida

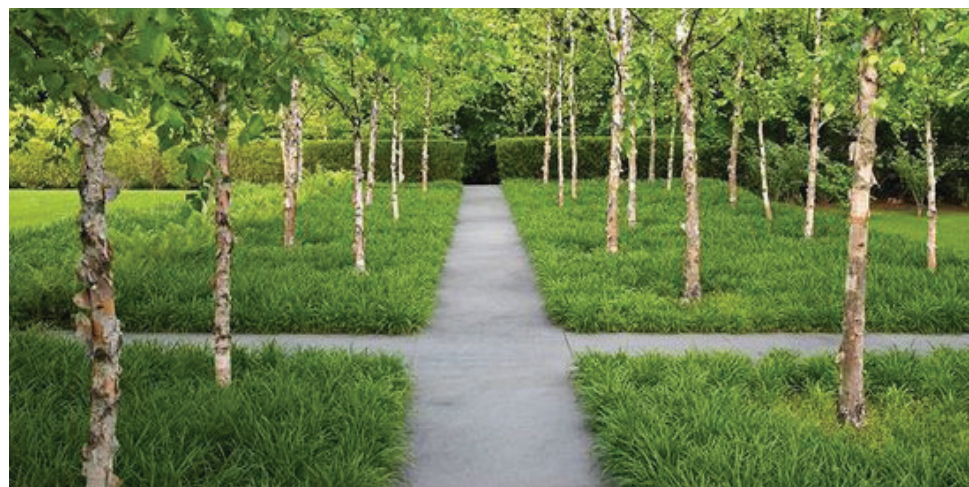


Trachelospermum
jasminoides



Viburnum davidii

CHARACTER IMAGES



CHARACTER IMAGES



Terraces



Terraces



Native landscape



Native landscape



Native landscape



Native landscape



Stepping pavers