



Australian Government  
National Capital Authority



National Capital Plan

# Development Control Plan No:171/09/0004

Blocks 19, 25, 36, and 37 Section 59 Lyneham  
Part Blocks 34, 35 and 38 Section 59 Lyneham  
Part Blocks 1 and 2 Section 63 Lyneham

November 2009





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# Development Control Plan

## No: 171/09/0004

Blocks 19, 25, 36, and 37 Section 59 Lyneham ,  
Part Blocks 34, 35 and 38 Section 59 Lyneham,  
Part Blocks 1 and 2 Section 63 Lyneham

### 1 PREAMBLE

1.1 The site fronts on to Northbourne Avenue north of Mouat Street, which is an Approach Route as defined in the National Capital Plan (the Plan). Special Requirements for Approach Routes under Section 2.4 of the Plan apply and state:

“Development is to conform to Development Control Plans agreed by the Authority, which seek to enhance the surrounding predominantly rural character and landscape outside the urban areas. As the Approach Routes enter the built up areas, the emphasis shall shift to a more formal character.”

1.2 The provisions of this Development Control Plan (DCP) apply to the portion of **Blocks 19, 25, 36, and 37 Section 59 Lyneham, Part Blocks 34, 35 and 38 Section 59 Lyneham, and Part Blocks 1 and 2 Section 63 Lyneham** which lie within 200 metres of the middle line of Northbourne Avenue. In the absence of a provision in the Plan to the contrary, all developments should be in accordance with the relevant provisions of the Territory Plan.

1.3 The subject site is Territory Land outside the Designated Area of the Plan and therefore the ACT Planning and Land Authority (ACTPLA) is responsible for assessing development applications relating to the subject site. In doing so, ACTPLA is required to ensure any proposal is not inconsistent with this DCP or the Plan.

1.4 The Northbourne Avenue road reservation forms part of the Designated Areas of the Plan and therefore the National Capital Authority (NCA) is responsible for granting works approval within the Northbourne Avenue road reservation.

### 2 PLANNING AND URBAN DESIGN OBJECTIVES

2.1 Enhance and formalise the character of Northbourne Avenue as an Approach Route appropriate to its transition to a Main Avenue south of Mouat Street.

2.2 Maintain and reinforce the landscaped character of Northbourne Avenue.

2.3 Allow for sporting facilities and associated infrastructure with an appropriate scale to Northbourne Avenue.

2.4 The site is to achieve a high quality of development within a landscaped setting. Consideration must be given to the visual impact of proposed development on the site, particularly when viewed from Northbourne Avenue.

2.5 Any buildings within the area subject of this DCP must demonstrate a high architectural quality, particularly when viewed from Northbourne Avenue.



### 3 Land Use

3.1 Land use on **Blocks 19 and 36, and Part Blocks 34 and 35 Section 59 Lyneham** shall be consistent with the PRZ2 - Restricted Access Recreation Zone of the Territory Plan. Land use on **Block 25 and 37 Section 59 Lyneham, part Block 38 section 59 Lyneham, nad Blocks 1 and 2 Section 63 Lyneham** shall be consistent with the PRZ1 - Urban Open Space Zone of the Territory Plan.

Land use on **Blocks 19, 36, Part Blocks 34, 35 Section 59, Lyneham**, shall be consistent with the PRZ2 - Restricted Access Recreation of the Territory Plan.

### 4 Building Height

4.1 Building height for development for this site shall be a maximum of RL585. Rooftop plant shall be an integral part of the overall design and consistent with the requirements of Section 7 'Roofscape Design' of this DCP.

### 5 Building Setback

5.1 Buildings or significant structures should be setback in accordance with the requirements set out in DCP Drawing No: 171/09/0004.

5.2 A minimum 10 metre building setback to Northbourne Avenue and Mouat Street shall be provided.

5.3 Minor encroachments of building articulation elements may be permitted provided the development meets the objectives set out under Section 2 of this DCP.

### 6 Building Materials & Colours

6.1 The facades and roof of buildings shall be constructed of high quality and durable materials. Highly reflective external materials are not permitted.

6.2 Building materials, construction and finishes should be responsive to microclimate issues. Use of sunscreen devices as articulation elements should be employed to achieve climate responsive facades.

### 7 Roofscape Design

7.1 Careful consideration should be given to the roof form and roofscape of any buildings as viewed from Northbourne Avenue and Mouat Street.

7.2 Roof top plant and equipment, if required, must be enclosed. The enclosure shall be carefully integrated with the roof form and design of the building. All such plant and equipment shall be concealed from view from Northbourne Avenue and Mouat Street.

### 8 Landscape Design

8.1 A high standard of landscape design is required for the site, particularly along the Northbourne Avenue frontage.

8.2 A Landscape Master Plan must be provided for the site. The objectives of the Landscape Master Plan are to:

- Minimise the visual impacts of buildings, car parking, and storage areas from the Northbourne Avenue frontage;
- Retain existing vegetation where possible and integrate into the future landscape design;
- Maintain and enhance the existing landscape character of Northbourne Avenue;



Ensure consistency of landscape treatments across the site; and

Ensure that on-site and off-site landscaping forms an integrated landscape screen to the Northbourne Avenue frontage.

- 8.3** A 10 metre landscaped zone is required to be maintained along the Northbourne Avenue frontage with future plantings complimenting the established vegetation. Car parking areas may be within this landscape area, provided the parking areas are contained wholly within the site, and meet the objectives of Section 9 of this DCP.
- 8.4** Areas not required for building, carparking, roads or sporting fields must be landscaped to the satisfaction of ACTPLA.
- 8.5** All outdoor lighting, including security and car park lighting, shall be designed and sited to minimise light spill. Outdoor lighting should use full cut-off light fittings. Any up-lighting of buildings should be carefully designed to keep night time overspill and glare to a minimum.

## 9 Vehicular Access & Car Parking

- 9.1** Access off Northbourne Avenue is limited to a single location as set out in DCP Drawing No: 171/09/0004.
- 9.2** On-site carparking is to be in accordance with the ACT Parking and Vehicular Access General Code of the Territory Plan.
- 9.3** The visual impact of large car parking areas must be minimised through adequate screening and landscape treatment.
- 9.4** A traffic assessment is to be submitted in relation to development proposals for the site.
- 9.5** Additional temporary access points at any point along Northbourne Avenue and Mouat Street are permitted for special events.

## 10 Signs

- 10.1** A single main entry sign of high quality design may be erected on the entrance from Northbourne Avenue. An additional precinct sign may be erected to address Northbourne Avenue at the corner of Mouat Street and Northbourne Avenue. No signs will be permitted in road reserves.
- 10.2** Careful consideration should be given to the integration of signs with facility design and landscaping. All signs proposed on site should be consistent with the relevant signs policies of the Territory Plan.
- 10.3** No commercial advertising signage is permitted fronting Northbourne Avenue or Mouat Street.

## 11 Mechanical Plant & Equipment

- 11.1** Mechanical plant and equipment (including external air conditioning units) shall not be visible from Northbourne Avenue or Mouat Street. Such mechanical plant and equipment should be contained within buildings or located within service enclosures appropriately screened from Northbourne Avenue and Mouat Street.

## 12 Electrical Substations, Storage & Service Areas

- 12.1** Careful consideration should be given to the location of electrical substations, storage and service areas (including storage sheds).

Such structures or areas must be carefully sited and totally screened from the view from Northbourne Avenue and Mouat Street.



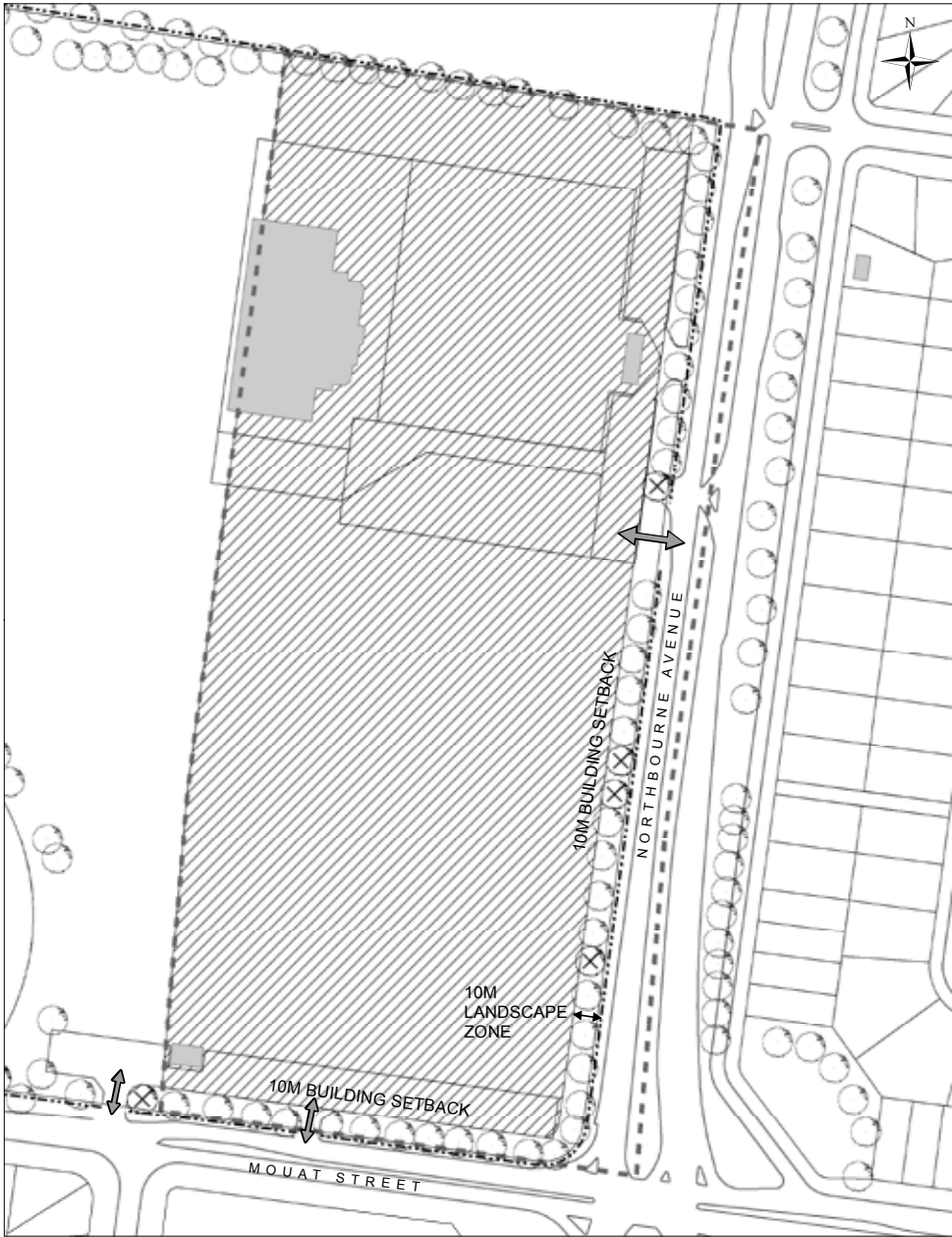
**13 Fencing**

13.1 Fences along road frontages are to be designed in a manner that is integrated with the landscape design using high quality materials and achieving transparency along the majority of the Northbourne Avenue frontage. The use of Colorbond, cyclone, barbed or razor wire is not permitted.

**14 DCP Drawings**

14.1 The above provisions should be read in conjunction with the DCP Drawing No: 171/09/0004 which forms part of this DCP.

**DCP Drawing no.171/09/0004**



**LEGEND**

- ↔ Access Point
- Existing Planting
- ⊗ Indicative Planting
- No Vehicular Access
- Existing Building
- ▨ Development Area
- - - Area Subject to DCP

DCP Drawing No: 171/09/0004



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