



Australian Government
National Capital Authority



National Capital Plan

Development Control Plan No: 171/09/0006

Part Block 9 Section 30 Fyshwick

December 2009





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DEVELOPMENT CONTROL PLAN NO: 171/09/0006 PART BLOCK 9 SECTION 30 FYSHWICK

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1 PREAMBLE

1.1 The site fronts on to that section of Canberra Avenue located between the ACT border and Hume Circle, which is an Approach Route as defined in the National Capital Plan (the Plan). Special Requirements for Approach Routes under Section 2.4 of the Plan apply and state:

‘Development is to conform to Development Control Plans agreed by the Authority, which seek to enhance the surrounding predominantly rural character and landscape outside the urban areas. As the Approach Routes enter the built up areas, the emphasis shall shift to a more formal character.’

1.2 The provisions of the Development Control Plan (DCP) apply to that portion of Block 9 Section 30 Fyshwick which lies within 200 metres of the middle line of Canberra Avenue. In the absence of a provision in this plan to the contrary, all development should be in accordance with the relevant provisions of the Territory Plan.

1.3 The subject site is Territory Land outside the Designated Area of the Plan and therefore the ACT Planning and Land Authority (ACTPLA) is responsible for assessing development applications relating to the subject site. In doing so, ACTPLA is required to ensure any proposal is not inconsistent with this DCP or the Plan.

1.4 The Canberra Avenue road reservation forms part of the Designated Areas of the Plan and therefore the National Capital Authority (NCA) is responsible for granting works approval within the Canberra Avenue road reservation.

2 PLANNING & URBAN DESIGN OBJECTIVES

2.1 Allow for buildings with an appropriate scale relationship to Canberra Avenue.

2.2 Ensure a high level of amenity is provided in site layout and urban design, and that noise impacts are mitigated through appropriate building design, materials and construction.

2.3 Active uses (such as exhibition spaces, office reception areas, shopfronts and cafes) on Canberra Avenue frontages are encouraged at the ground floor level of new developments.

2.4 Ensure that new developments exemplify sustainability principles and demonstrate excellence in urban design, landscape and architecture.

2.5 Encourage modulation, articulation, variety of materials and human scale elements at ground floor in relation to built form and streetscape design.

3 LAND USE

3.1 Land use on Block 9 Section 30 Fyshwick shall be consistent with the IZ2 – Mixed Use Industrial Zone of the Territory Plan.



4 BUILDING SCALE

- 4.1 Building height for development on the site shall be a maximum of RL 578. Lift overruns, roof plant and other building services may extend above RL578 provided they are:
- No higher than RL582;
 - Set back a minimum of 2.4 metres from the facades of buildings;
 - Contained below a plane projected into the block at 30 degrees from the top of the building facades on street frontages;
 - An integral part of the overall design; and
 - Consistent with the requirements of Section 7 'Roofscape Design' of this DCP.

5 BUILDING SETBACK

- 5.1 Buildings or significant structures on the site may be built to boundary on Canberra Avenue and Mildura Street, and are to be set back a minimum of twelve (12) metres from the boundary along Jerrabomberra Creek.

6 BOUNDARY & COURTYARD WALLS

- 6.1 Careful consideration should be given to the design and detailing of boundary or courtyard walls proposed as part of development fronting Canberra Avenue. Continuous solid, unarticulated walls should be avoided along the Canberra Avenue frontage.
- 6.2 Boundary or courtyard walls should be carefully integrated with building and landscape design and should aid in screening storage sheds and service areas when viewed from Canberra Avenue.

7 ROOFSCAPE DESIGN

- 7.1 Careful consideration should be given to the roof form and roofscape of buildings as viewed from Canberra Avenue.
- 7.2 Rooftop plant and equipment must be enclosed and the enclosure must be carefully integrated with the roof form and design of the building. All plant and equipment shall be totally concealed from view from Canberra Avenue. Roof top plant and equipment must be contained within the maximum height limits nominated in Section 4 'Building Scale' of this DCP.

8 BUILDING MATERIALS & COLOURS

- 8.1 The facades and roofs of buildings shall be constructed of high quality, durable materials. Highly reflective external materials are to be avoided.
- 8.2 Building materials, construction and finishes should be responsive to microclimate issues. Use of sunscreen devices as articulation elements should be employed to achieve climate responsive facades.



9 FENCING

- 9.1 Security fencing to Canberra Avenue and Mildura Street is to be set back a minimum of three metres from the property boundary and not forward of buildings or courtyard walls. The zone between the property boundary and fence is to be landscaped and consistent with the requirements of Section 10 'Landscape and Streetscape Design' of this DCP.
- 9.2 Security fencing to the Jerrabomberra Creek boundary is to be located on the alignment of the block boundary.
- 9.3 All security fencing and gates are to be dark grey to black in colour.

10 LANDSCAPE & STREETScape DESIGN

- 10.1 A high standard of landscape design is required for the site, with particular attention given to the Canberra Avenue frontage. The existing 'landscaped corridor' character of Canberra Avenue shall be maintained and enhanced with native trees and shrubs planted in the areas forward of buildings, courtyard walls and security fences.
- 10.2 All new developments must include a landscape plan that provides for planting of native trees of advanced species in an informal composition to establish a unified landscape character for Canberra Avenue.
- 10.3 Significant groups of mature trees in the verge along the Canberra Avenue frontage should be retained where practicable and integrated with new plantings proposed as part of development.
- 10.4 Landscape and streetscape design should be of a high quality and use a coordinated palette of pavement materials, street furniture and lighting.
- 10.5 Footpath areas should be wide enough to cater for pedestrians and allow for seating areas, outdoor cafes, planting and urban art.
- 10.6 Pedestrian entries should be clearly visible from the public domain.

11 VEHICULAR ACCESS & PARKING

- 11.1 No vehicular access is permitted to the site from through traffic lanes of Canberra Avenue.
- 11.2 On street parking is permitted on Mildura Street only. No on street parking is permitted adjacent to through traffic lanes on Canberra Avenue.
- 11.3 Underground and structured car parks are to be concealed from public view. Blank facades to public spaces or streets are not permitted.

12 SIGNS

- 12.1 Careful consideration should be given to the integration with building design and landscaping. All building or freestanding signs proposed on site should be consistent with the relevant signs policies of the Territory Plan and the National Capital Plan. Should an inconsistency arise between the policies of the two plans, the National Capital Plan policies shall prevail.



13 MECHANICAL PLANT & EQUIPMENT

- 13.1 All mechanical plant and equipment should be contained within buildings or located within service enclosures appropriately screened from Canberra Avenue. External air conditioning units and plant shall not be visible from Canberra Avenue or Mildura Street.
- 13.2 Other equipment (including solar energy equipment) is to be integrated into building design or totally screened from view from Canberra Avenue.

14 ELECTRICAL SUBSTATION, STORAGE & SERVICE AREAS

- 14.1 Careful consideration should be given to the siting of electrical substation, storage and service areas (including storage sheds) as viewed from Canberra Avenue and Mildura Street. Such structures or areas must be carefully sited and totally screened from view from Canberra Avenue and Mildura Street.

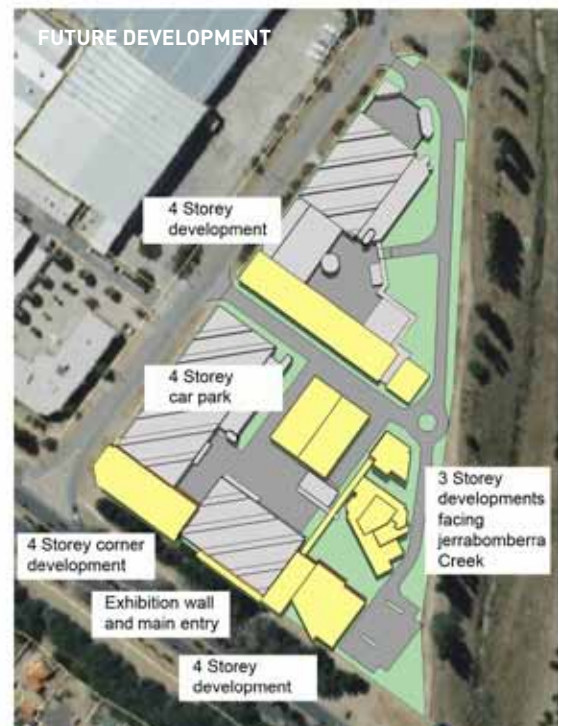
15 RAINWATER TANKS

- 15.1 Rainwater tanks are to be fully integrated into the building design or screened from view from Canberra Avenue.

16 CP DRAWINGS

- 16.1 The above provisions should be read in conjunction with DCP Drawing Nos. 171/09/0006 A, B, and C which form part of this DCP.

DCP Drawing No. 171/09/0006 A





DCP Drawing No. 171/09/0006 B –
 Indicative Development Plan for CIT Fyshwick Campus

PART BLOCK 9 SECTION 30 FYSHWICK



DCP Drawing No. 171/09/0006 C –
Indicative Development Plan for CIT Fyshwick Campus







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