

**DEVELOPMENT CONTROL PLAN
SYMONSTON SECTION 107 BLOCK 9
DCP NO. 171/95/0974**

Preamble

The use of the site should be for the purpose of a Scientific Research Establishment. Specifically, the site is to be used by the Australian Geological Survey Organisation for the purpose of scientific geological research and other uses ancillary or supporting the primary use.

The site should be developed with buildings and landscape of a high quality consistent with the uses accommodated on the site.

In the absence of a provision in these conditions to the contrary, all development should generally accord with the Design and Siting Conditions set down in Appendix H of the National Capital Plan.

Site Layout and Landscape Design

The site should achieve a high quality of development within a landscape setting. Siting of development on the site should be in a manner which does not adversely impact on the ecology or undermine the landscape character of the locality but respond to the opportunities presented by the site. A concept diagram laying out the site development principles would need to be provided.

Consistency in the site development, built form and the landscape design should be sought. The landscape of the site should provide a context for the large masses of buildings, parking and paved areas and should moderate the visual impact of the development when viewed from public areas nearby, particularly from Monaro Highway and Hindmarsh Drive.

Careful consideration need to be given to the siting of storage and service areas within the site to minimise their visual impact as viewed from Monaro Highway and Hindmarsh Drive. Such areas should be suitably screened through appropriate landscape treatment.

Native grass, large rocks and any significant trees on site need to be retained to the extent practicable and integrated in the landscape design. Care should be taken to protect trees to be retained during construction.

A comprehensive landscape plan for the site should be prepared in consultation with the Authority as part of any development proposal for the site.

Building Design, Materials and Colour

Building development on the site should have its primary address to Hindmarsh Drive and, at the same time, maintain good presentations to Monaro Highway and Jerrabomberra Avenue.



Buildings (including any support structures) should be designed to ensure an overall consistency in their form, massing and external design detailing. Variation in design and construction detailing may be considered especially where the design expresses the function of the building, but such variations should be within the limits of an overall theme.

All external facades should be of durable low maintenance materials. Highly reflective external materials are to be avoided. Glazing with a reflectivity of greater than 15% will not be permitted.

Colours of external facades and roof should be sympathetic to the rural setting and are to be generally in the earth tones range. Sympathetic variations in colours and materials between individual buildings may be considered. However, strong contrasts in colour of major architectural features will not be supported.

Due consideration should be given to the roof form and roof scape of buildings on the site. Roof top plant and equipment, if considered, should be carefully integrated with the roof form and design of the building.

Building Height and Setback Requirements

Buildings and structures on the site should be limited to three storeys in height and should not exceed an RL of 596.0. Only roof top flues, plantrooms and lift overruns shall be considered above this limit where it can be justified that they are integral part of the operations of the buildings considered.

The minimum setbacks from the property lines for siting buildings and carpark areas on the site are as shown in the Development Guidelines Drawing No. 171/95/0974.

Vehicular Access and Carparking

Access and egress to the site shall only be permitted from Jerrabomberra Avenue as shown in the Development Guidelines Drawing No. 171/95/0974. Vehicular access points from the Avenue should be kept a minimum required to provide efficient access for visitors and staff to the front address, carparking and service areas.

All access points are to be designed to the requirements of relevant ACT Government authorities. Consideration should be given to disabled access and parking requirements.

The carparking requirement for development on the site should be based on the parking standards of the ACT Government or as recommended by a Traffic Study for the site and supported in writing by the Authority.

Visual impact of large carparking areas should be minimised through adequate screening and proper landscape treatment.

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Building Services, Storage and Service Areas

All building services (sewer, water, stormwater, electricity, telephone, gas) should be in accordance with the requirements of the ACT Government and other relevant authorities.

Careful consideration should be given to the siting of ACTEW substation, storage and service areas so that their visual impact is minimised and they do not detract from the general amenity of the area. Such areas should be carefully designed and adequately screened from public view.

Environmental Considerations

Adverse environmental impacts from on-site developments, on adjacent land and development, should be identified and redressed to the extent practicable. Environmental protection measures should be adopted as appropriate to ensure that the sensitive elements of the site are protected.

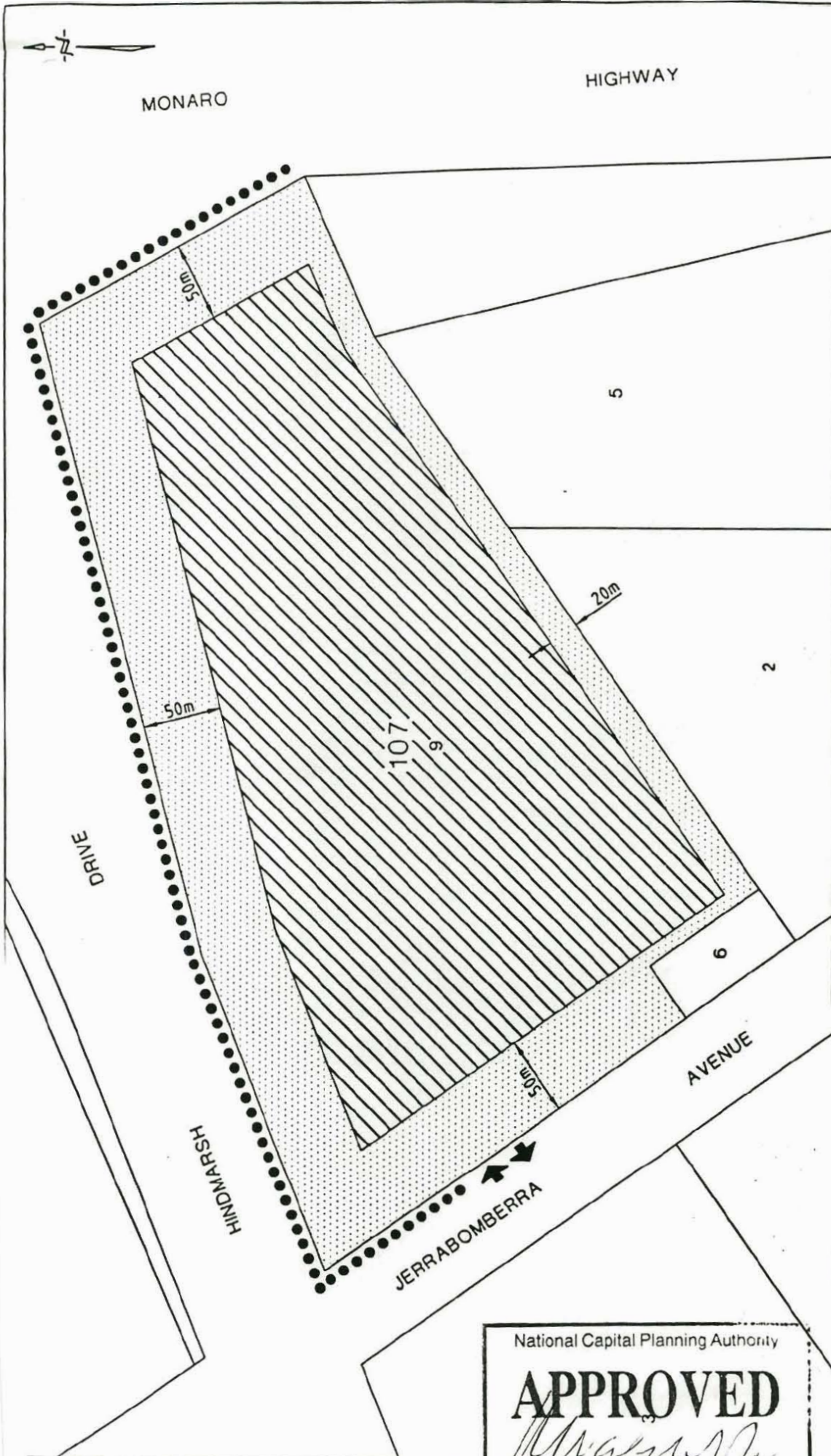
Due consideration should be given towards reducing/minimising any impact on the physical environment regarding air quality, noise and waste management. The stormwater runoff needs to meet the specifications of the ACT Government.

The site is close to the Bonshaw Receiving Station. The nature of activities conducted on this site will need to be considered by the Department of Defence to ensure that all necessary actions are taken to maintain any possible interference within acceptable levels.

Signs

Signs within the site should be consistent in design and appearance. All signs should meet the requirements set out in Appendix H, Part 4 of the National Capital Plan.





Title: **DEVELOPMENT CONTROL PLAN
AGSO SITE
SYMONSTON SECTION 107 BLOCK 9**

Drawn: PS Scale: NTS Date: May 95

Checked: Drawing No. 171/95/0974 Rev.

NCA
National Capital Planning Authority
10-12 Brisbane Ave, Barton, ACT
GPO Box 373, Canberra 2601, Australia
Phone: (06) 271 2688 Fax: (06) 273 4427

- Building Zone
- Landscape Zone
- Access & Egress Permitted
- Access & Egress Denied

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APPROVED

[Signature]

Chief Executive Date 1/1