

Uriarra Village

Development Control Plan No. 171/04/0004

Block 5 and 78 – Coree District



1 Preamble

- 1.1.1 The subject site is located on the Brindabella Road 1.1 kilometres east of the intersection of the Brindabella and Uriarra Roads and about 18 kilometres west of Canberra City. It is known as Uriarra Village.
- 1.1.2 A forestry settlement was established at the site in 1928 and a small community has lived there since. The bushfires of January 2003 burned 16 of the then 23 houses in the settlement, leaving 7 remaining.
- 1.1.3 The ACT Government, in seeking to determine the best course of action for bushfire recovery, commissioned the report *Shaping Our Territory: Opportunities for Non-Urban ACT* (November 2003) to recommend actions for the non-urban areas of the ACT. This report recommended that Uriarra Village be rebuilt and enlarged along the lines of work that had been conducted prior to the bushfires and which was supporting documentation to Draft Amendment 34. A second report *Sustainability Study: Uriarra Village* (May 2004) considered current information on social capital, infrastructure innovation, environmental, planning and financial analysis and confirmed that an expanded village was an appropriate course of action and that Uriarra Village could be redeveloped in a sustainable manner.

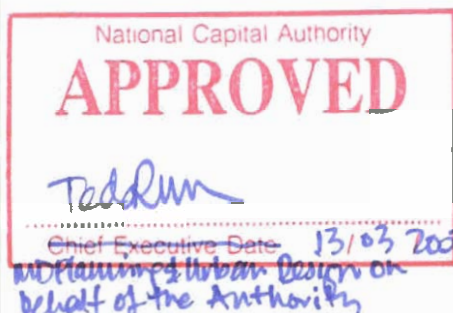
Uriarra Village is a special circumstance in the ACT in that there has been a village at the site for approximately 80 years and that the residents who lost their homes at Uriarra in the 2003 bushfire wish to return. The ACT Government in determining that Uriarra should be redeveloped considers this is part of a carefully structured social, environmental and economic solution to meet the needs of displaced rural families.

The National Capital Authority advised that:

...DA 34 would permit some expansion of the Uriarra settlement. Within the scope of DA34 the Authority considered that such an expansion must be contained within the existing settlement structure and infrastructure. The Authority recognised that the existing village structure will have to be modified to include an additional road to ensure two points of access to the village are available in times of emergency. On this basis the Authority has agreed to consider a DCP with the capacity to accommodate up to 75 houses. This scale and nature of expansion would, in its view, be within the spirit and character of the original settlement and could be approved in a DCP under DA34.

In subsequent discussion the Authority agreed that the number of houses at Uriarra could be higher than 75 and advised that the final number would need to be established through the development of (this) DCP.

- 1.1.4 Following recent implementation of Amendment 34 the land is "Rural Areas" land use policy in the National Capital Plan. The background statement to Amendment 34 states:



"The Rural Areas of the ACT should be retained and utilised on a sustainable yield basis whilst providing a distinctive rural landscape setting for the National Capital.

Policies for "Rural areas" also allow scope for subdivision for rural residential use to be considered where a Development Control Plan identifies an area for small holdings and is agreed to by the (National Capital) Authority."

- 1.1.5 Following the proposals for Variation 151 to the Territory Plan the land will be zoned "Rural" with Overlay Conditions (11B).
- 1.1.6 The Territory Plan overlay conditions (11B) provide for residential development at Uriarra Village subject to land use controls and in accordance with a Development Control Plan agreed by the National Capital Authority.
- 1.1.7 This Development Control Plan No 171/04/0004 has been prepared in response to the requirements of the National Capital Plan and the Territory Plan. It will provide a basis for any development proposal for the Uriarra Village on Block 5 and 78, Coree District.

2 Land Use

- 2.1.1 The land will be used for the development of Uriarra Village which may consist of a single lease managed by a Body Corporate under the (ACT) *Community Title Act 2001*.
- 2.1.2 Single dwelling housing will be the primary land use.
- 2.1.3 Within the lease, land uses may include those which already existed at the site including:

The forestry depot will be moved from its current site just outside the village boundary to the new Forestry headquarters in Weston. Given the historical and actual importance of the forestry connection to Uriarra it is planned that agricultural use could continue at the forestry site.

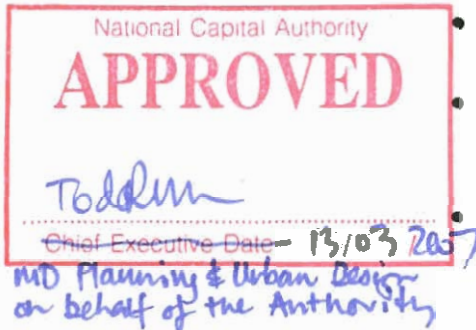
The former school buildings which are now used as Uriarra community facilities and are an integral part of the community life of the village also include the heritage listed original school. This land use for community use will continue.

The abandoned scientific research facility. Together with the former school buildings, this facility is used to support outdoor recreation events and, if it meets modern building and bushfire prone area requirements, it could be used for the new bushfire brigade. It is proposed that these land uses continue.

- 2.1.4 Other permitted uses are listed in the land use policies of the National Capital Plan and the related Territory Plan variation.
- 2.1.5 The operation of *home businesses and home occupations* will be subject to further controls as defined in the Territory Plan from time to time. Home businesses may only be approved where:
 - at least one worker is a bona fide resident of the land;



- the operation of the home business does not cause unreasonable annoyance, offence, nuisance or danger to any tenant or occupant of adjoining land;
- provision is made for the parking of all customer/client vehicles on existing driveways within the block or in a suitably screened location on the land;
- the home business does not, or is unlikely to cause, pollution, create a health hazard or present danger which is prohibited under any relevant Territory legislation and/or Code of Practice (as may vary from time to time);
- traffic generated by the home business does not unacceptably affect the flow of local traffic;
- the use does not result in the storage on the block of materials obtained for or generated by the Home business other than within the confines of approved structures; and
- retailing associated with the home business does not, or is unlikely to generate an increase in traffic, parking demand or noise, which is unreasonably deleterious to the amenity of the surrounding area.
- A home business could include a small shop outlet included in the residence.



Where the policy is changed, the current policy will apply.

- 2.1.6 Existing infrastructure and public spaces such as the open space, tennis courts and playground will be maintained and enhanced as community assets. Other assets, such as community gardens, may be developed in accordance with the land use policy.

3 General Design Objectives

- 3.1.1 The ACT Government's objective is to create a new and unique village that builds on the history and development of the former settlement and which provides a village with a secure future and which can be used to demonstrate the application of sustainability principles to a high standard.
- 3.1.2 Three key design objectives have been identified for the establishment of a rural village as an expansion of the former settlement.
- The rural character of the village is to be maintained with the design expanding upon the structure of the existing village.
 - The village is to be sustainable.
 - The design and management will incorporate measures to mitigate the effect of future bushfires.
- 3.1.3 The following outlines how each of these objectives will be met.

4.2 Rural Character

- 4.2.1 The general subdivision layout follows the historical layout, with streets leading to open space at the village boundary where appropriate.
- 4.2.2 To maintain the low density of development no further subdivision or dual occupancy development will be allowed.
- 4.2.3 The existing road pattern is to be preserved where practical.
- 4.2.4 Existing houses and other buildings are to be preserved (according to the requirements of the approved heritage citations).
- 4.2.5 A maximum of 100 dwellings may be permitted under this Plan.

4.3 Sustainability

- 4.3.1 Land tenure is planned to be under a community title scheme to ensure appropriate ongoing management and promote social interaction and a shared community spirit.
- 4.3.2 Aboriginal and European cultural heritage sites are to be treated as required by the ACT Heritage Unit.
- 4.3.3 The landscape character will be in harmony with the original village focussing on replacement of the original woodlands and grasslands where possible. The existing native and exotic trees will be retained where possible noting some have been severely damaged by the fires. Overall there is to be a rural lane road typology, careful attention to built form and scale, colour and materials and landscape plantings, and no kerbs and gutters except where these may be retained for heritage reasons.
- 4.3.4 The ACT tree protection legislation (*Tree Protection Act 2005*) only applies to Urban Areas however, the intentions of the Act will apply to the site, protecting trees of value for ecological and landscape purposes.
- 4.3.5 Water management will be designed for sustainability within approval parameters set by ACT Health and Environmental agencies. The sustainability study has explored and recommended the following for investigation in the detailed design stage:
 - Rainwater tanks will be used as the primary supply of potable water;
 - A non-potable mains supply will service the village for backup water and fire fighting purposes;
 - Grey water will be treated and reused on residential blocks, and
 - Black water will be treated by a septic system on residential blocks.
- 4.3.6 Roads will have swale drainage, rather than kerbs and gutters. Stormwater will be used to passively water community open space areas.

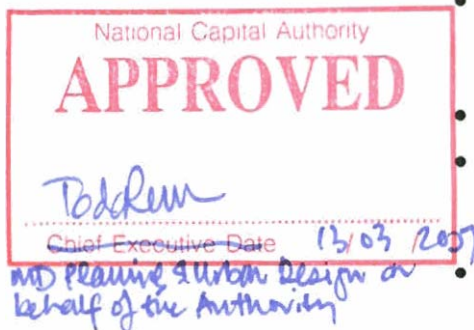


Chief Executive Date 12/03/2007
ND Planning & Urban Design
on behalf of the Authority

4 Village Design Principles

- 4.1.1 A concept plan has been prepared to illustrate the proposed layout of the redeveloped Uriarra Village. The plan is based on the material presented in the report *Sustainability Study: Uriarra Village* however it will warrant some refinement at the detailed design stage. The plan is presented at Attachment 1.
- 4.1.2 The Uriarra Village site is surrounded on the east, west and south by land being reclaimed from burnt out pine forests. The land to the north, across Brindabella Road, is rural leasehold grazing property characterised by open grassland with scattered mature eucalypts. Air Services Australia Communication towers are visible to the north but not intrusively so. The southern boundary of the village site coincides with the Cotter River watershed. Tarpaulin Creek originates within the village site and flows northward under Brindabella Road and through the grazing land. The creek flows only intermittently.
- 4.1.3 The site is visually contained within a lower area enclosed with higher ground on the east and south (Mt McDonald and the Cotter catchment boundary) and a low ridgeline on the western perimeter. Trees along the northern (roadside) boundary assist in providing a sense of containment for the site.
- 4.1.4 Access to the site is currently via a driveway close to the western end of the Brindabella Road boundary. An additional access will be provided towards the eastern end of this boundary. Dual access is an important fire safety consideration. The layout of existing internal roads is to be generally retained for heritage reasons to the satisfaction of the ACT Heritage Unit.
- 4.1.5 The overall presentation of the village site forms a shallow bowl with a northerly aspect and northerly views. This, together with the need to retain the existing road pattern and provide an additional road access to the north east corner of the site, suggests a design approach with the following key elements:

- Extension and reinforcement of the existing 'horseshoe' configuration whereby the built elements follow the bowl contour, enclosing the central open areas.
- Retention of the central open space.
- Retention of the Tarpaulin Creek alignment as open space within the site and providing a green corridor connection from the site into and beyond the rural land to the north.
- Retention of the trees and a broad landscape zone along the Brindabella Road frontage, emphasising the setting of the village back from the road and relating more strongly to the landscape than to the road.
- A road configuration that emphasises a loop connection from the eastern to the western access, following the 'bowl' contour.



- breezeways and gauzed areas;
 - garages set back behind the property line; and
 - predominance of horizontal lines, including ridge, fascia and wall linings.
- 5.1.2 Roof colours should be consistent with a rural setting and passive solar design.
- 5.1.3 Wall colours should be from a 'natural' palette including browns, greys and greens.
- 5.1.4 Buildings will be restricted to the appearance of single story height, except where the slope facilitates a basement level.

5.2 Sustainability

- 5.2.1 Utilising passive solar design strategies will significantly decrease the energy needs of dwellings. Dwellings are to be at least five star and are to target six star ratings. The strategies should include as range of the following:
- orientation between North and 10° east of North
 - glazing maximised to the North
 - double glazing for insulation
 - internal thermal mass: concrete slab floor construction;
 - insulation levels to be high: R 4.0 to ceilings, R 2.4 to walls and 50 mm extruded polystyrene to slab edge and 900 mm in to whole of slab perimeter
 - cross ventilation facilitated by openings on opposite sides of rooms and across the building
 - narrow North to South plan depth to facilitate sun penetration and cross ventilation
 - principal habitable rooms to the North side, to receive winter sun and passive solar warming
 - minimum wall heights to reduce external surface area and heat loss/gain
 - shading devices and verandas to the East, South and West.
- 5.2.2 The water requirements of dwellings will be significantly reduced by decisions made with regards to water management and recycling at a village scale. Water management for each dwelling will target a 60% reduction in use of mains water compared to the average in Canberra.
- 5.2.3 Building materials that have low embodied energy and low toxicity will be selected, as well as those that allow the waste hierarchy of reduce, re-use and recycle to be followed.



- 4.3.7 The developer will provide solutions that meet or improve on the sustainability solutions already canvassed. The developer will also be required to deliver green energy strategies and this may involve, for example, making a one off contribution to assist in defraying the capital cost of a mini-hydro power station at Corin Dam.
- 4.3.8 Ownership of village infrastructure including the former school buildings (now community centre) and open space will be vested in the body corporate. Ownership of the roads and some service infrastructure is vested in the ACT Government. Details of the community assets are presented in Attachment 2.

4.4 Bushfire Safety

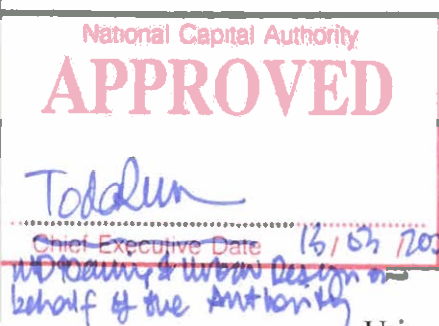
- 4.4.1 The proposed ACT Bushfire Abatement Zone will apply for Uriarra and shall be considered and addressed in all development at Uriarra.
- 4.4.2 The land tenure within the village may be Community Title, thus providing a formal mechanism for the community's involvement in the protection of the village against bushfires.
- 4.4.3 The body corporate will have a specific role in bushfire management and prevention, education and emergency planning in accordance with ACT Government requirements and standards.
- 4.4.4 Managed asset protection zones standards, consistent with the ACT's Strategic Bushfire Management Plan, will be required. The exact extent of these zones will be agreed during the detailed design phase in liaison with the ACT Emergency Services Authority, Department of Urban Services (including ACT Forests) and the ACT Planning and Land Authority and any other ACT Government Agency they nominate.
- 4.4.5 Bushfire mitigation and/or bushfire safety measures shall be nominated by the ACT Government and meet all relevant Australian Standards and shall be addressed by the ACT Government as part of any development conditions and in their assessment for development approval.

5 House Design Principles

5.1 Rural Character

- 5.1.1 The character of the built form will be distinctly rural. This shall be achieved using a number of elements, which may include:

- pitched metal roofs;
- **small-scale and articulated forms;**
- **pavilion forms;**
- informal layouts and elevations;
- additive forms and repetitive elements;
- verandas and pergolas;
- integration between indoor and outdoor living;



5.3 Bushfire Safety

- 5.3.1 The design of dwellings and associated structures and the opportunities for individual bushfire mitigation measures and/or bushfire safety shall be nominated by the ACT Government and meet all relevant Australian Standards and shall be addressed by the ACT Government as part of any development conditions and in their assessment for development approval..
- 5.3.2 Opportunities for the use of landscaping for bushfire mitigation, including the use of windbreaks and radiant heat barriers are to be considered.

6 Environmental Considerations

- 6.1.1 Environmental impacts which may arise from the development of this site, and effect adjacent sites or properties have been identified in the Preliminary Assessment and the Public Environment Report which have been prepared according to the requirements related to the Territory Plan. Recommendations in the reports are to be adopted.
- 6.1.2 Storm water run-off from the site should meet the requirements of the Territory.
- 6.1.3 Waste management during construction must be according to the requirements of the Waste Management Plan approved by the ACT Government and will include on-site use of clean fill and recycled and reused building products where possible.
- 6.1.4 The obligations and responsibilities of the *Environment Protection and Biodiversity Conservation Act 1999* may apply to the land.

7 Off Site Works

7.1 Asset Protection Zone

- 7.1.1 This ACT Government will nominate any required off-site works particularly related to bushfire mitigation and/or safety.

7.2 Entry Roads

- 7.2.1 Driveway connections are to be provided to two points on Brindabella Road.



Attachment 1 – Site Plan

National Capital Authority
APPROVED

Toddlin

Chief Executive Date 13/10/2007
 on behalf of the Authority

DISTINCTIVE AVENUE
 PLANTING TO CANOPY
 OVER AND EMPHASISE
 INTERNAL OPEN SPACE



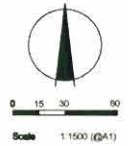
LEGEND

-  Occupied Houses
-  Community Centre
-  Block Layout
-  Road Layout
-  Fire Trails (indicative)

LANDSCAPE & BUFFER ZONE



REVISION	DATE	ZONE



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Designer	klc	26/06/2006
Drawn	klc	13/10/2006
Checked	kl	13/10/2006
Approved	kl	13/10/2006

Ullarra Forestry Village
 Development Control Plan

Drawing No. 160344-003 Rev
 Sheet No. 1 of 1 160344_Ullarra_RevE
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Attachment 2 – Village Asset Register

Existing Assets	Actions	Long Term Owner
Occupied cottages (6)	Upgrade to new standards, within heritage constraints.	Housing ACT
Unoccupied cottage (1)	(pending negotiation)	Housing ACT
Former school building and grounds	Preserve	Body Corporate
Plague Locust commission buildings	Utilise if possible	Body Corporate
Oval	Preserve if appropriate	Body Corporate
Open Space	Preserve	Body Corporate
Tennis Courts & Playground	Upgrade and preserve	Body Corporate
Sewerage Ponds	Utilise or Rehabilitate	ACT Government ACTEW Body Corporate
Sewerage System	Utilise if necessary	ACT Government ACTEW Body Corporate
Roads	Upgrade as necessary	ACT Government
Stormwater System	Utilise if necessary	Body Corporate
New Assets		
Internal Roads and Services	Develop	ACT Government
Public Spaces	Develop	Body Corporate
New Cottages (ACT Housing)	Develop	Housing ACT
New Private Houses	Develop	Private Individuals

