

# DEVELOPMENT APPLICATION

PROPOSED DEVELOPMENT AT  
12 HOBART AVE. FORREST ACT 2603

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Site Area = 1232.5 sqm  
Gross Floor Area = 493.0 sqm  
Floor Space Ratio = 0.40:1  
Soft landscape = 495sqm  
Soft landscape %age = 40.2%



Notes:  
Site area measured from survey

Perspective View From Hobart Avenue

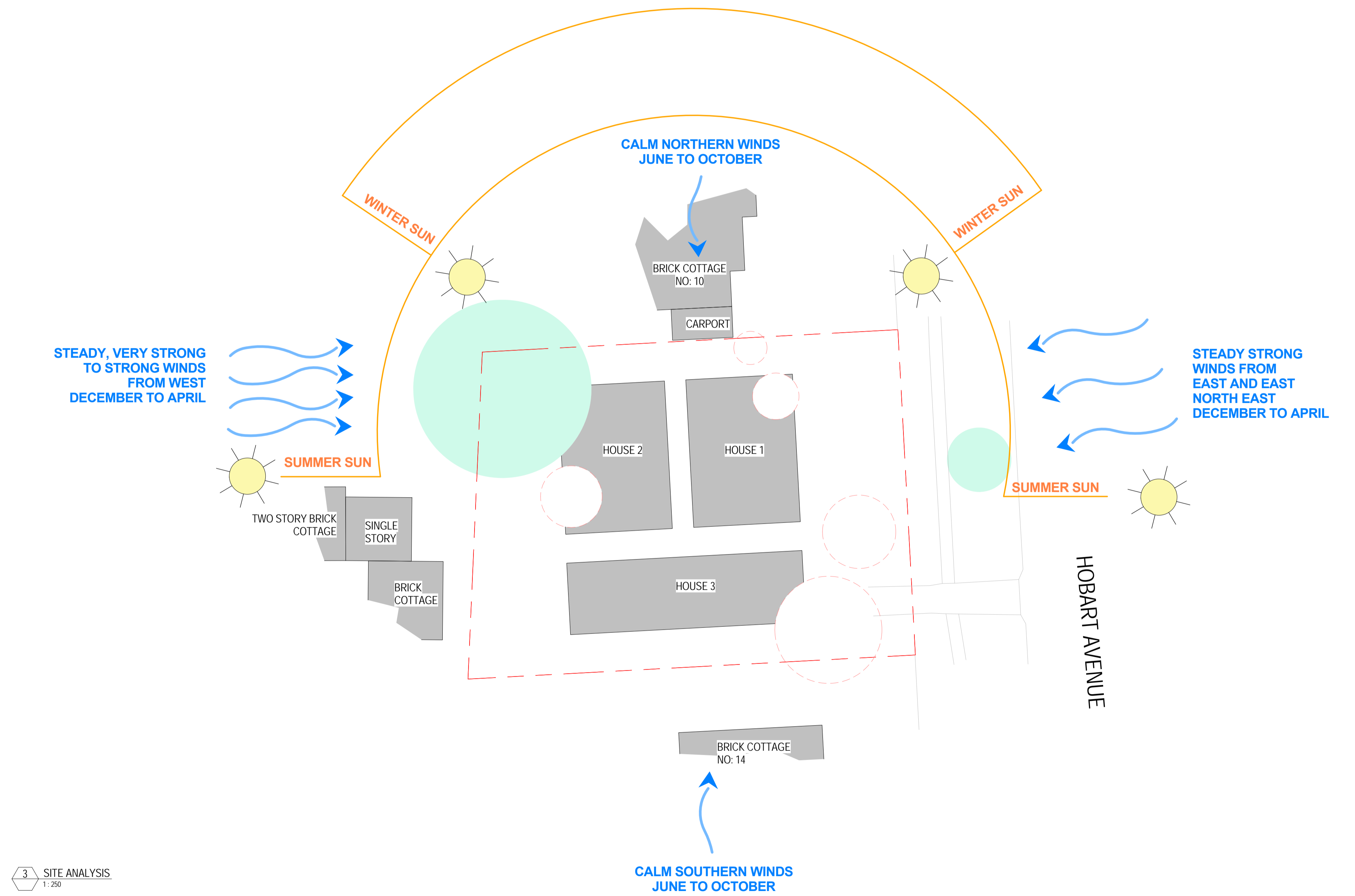
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LOCATION PLAN



SITE PLAN

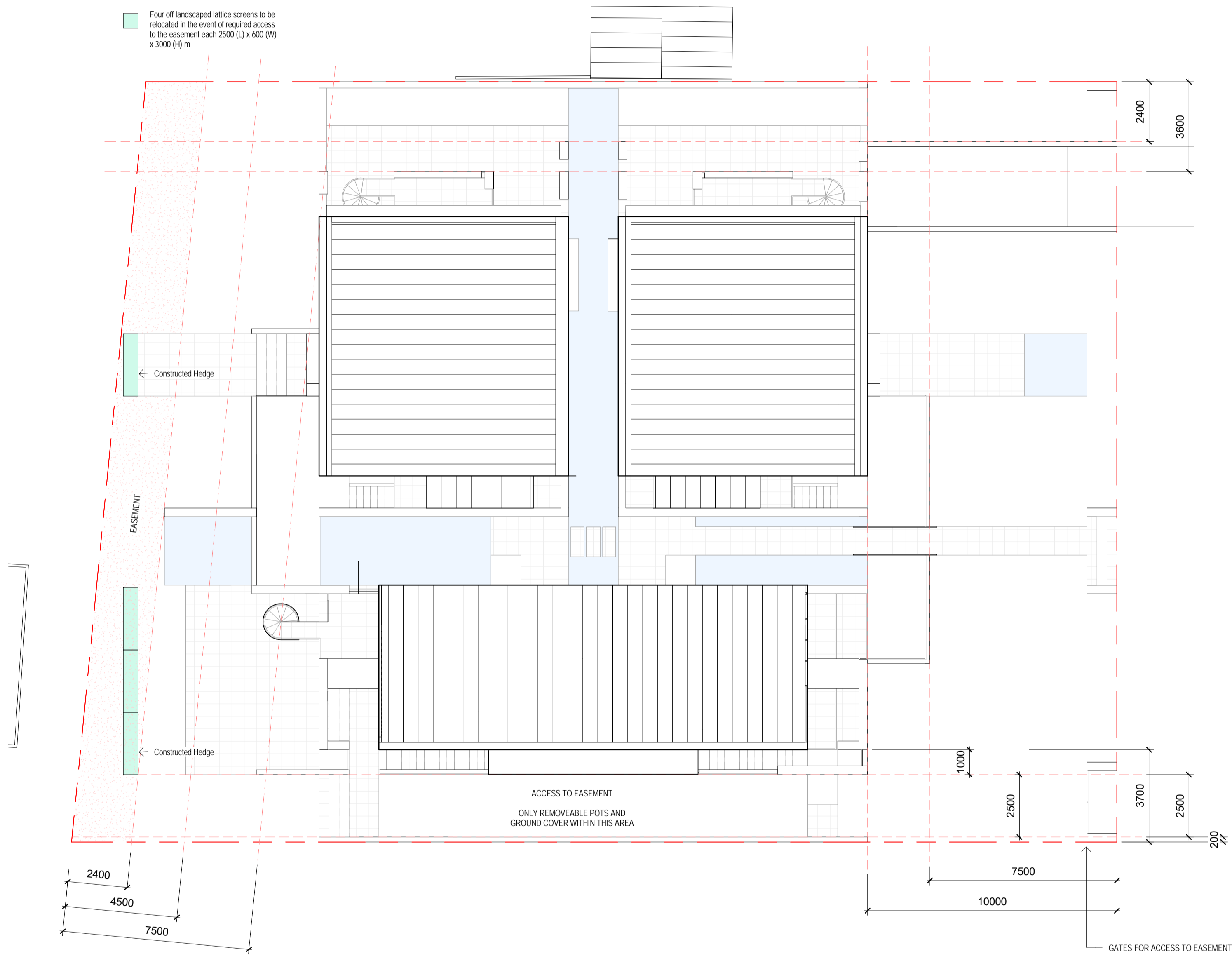


3 SITE ANALYSIS  
1:250

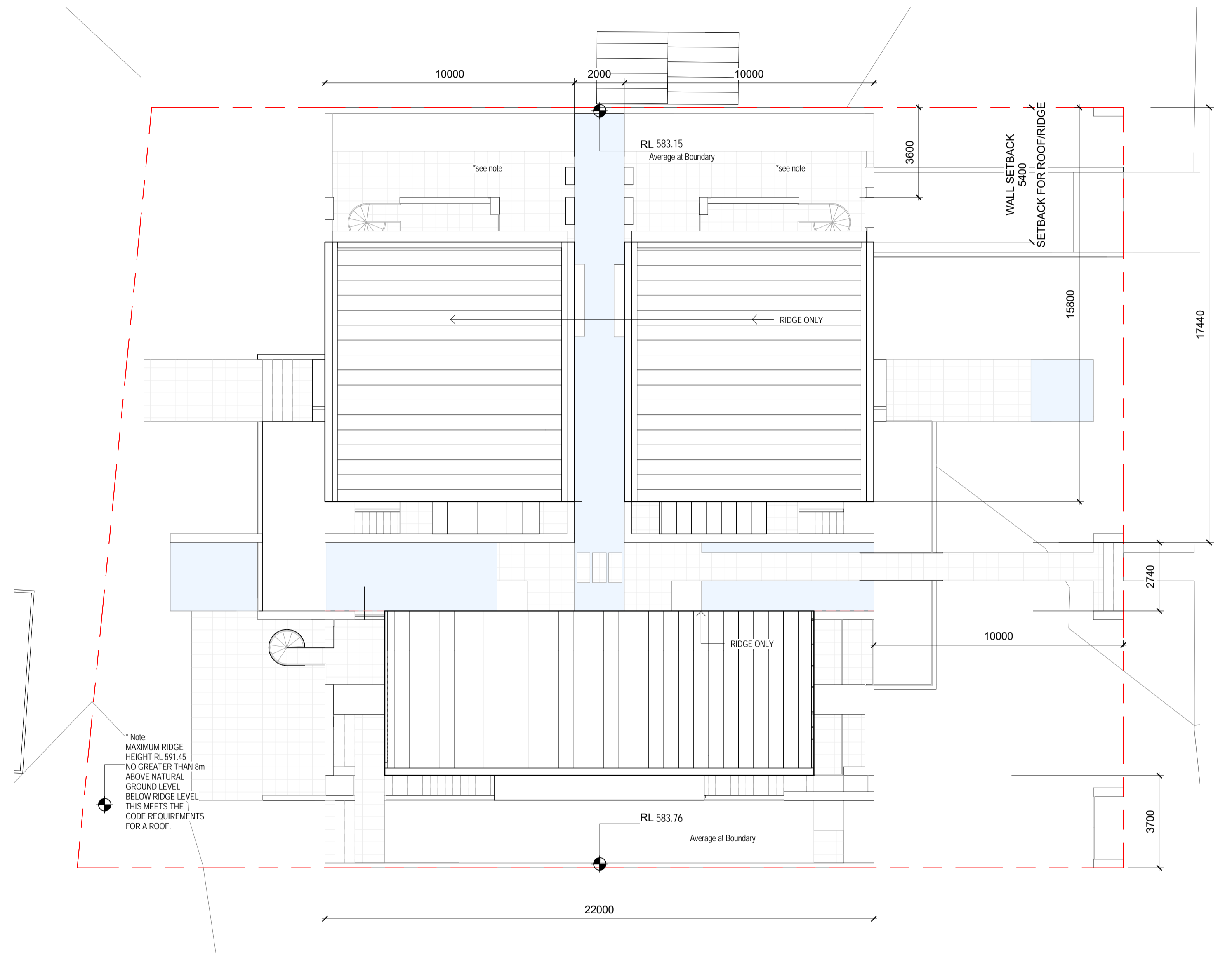
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Four off landscaped lattice screens to be installed in the event of required access to the easement each 2500 (L) x 600 (W) x 3000 (H) m



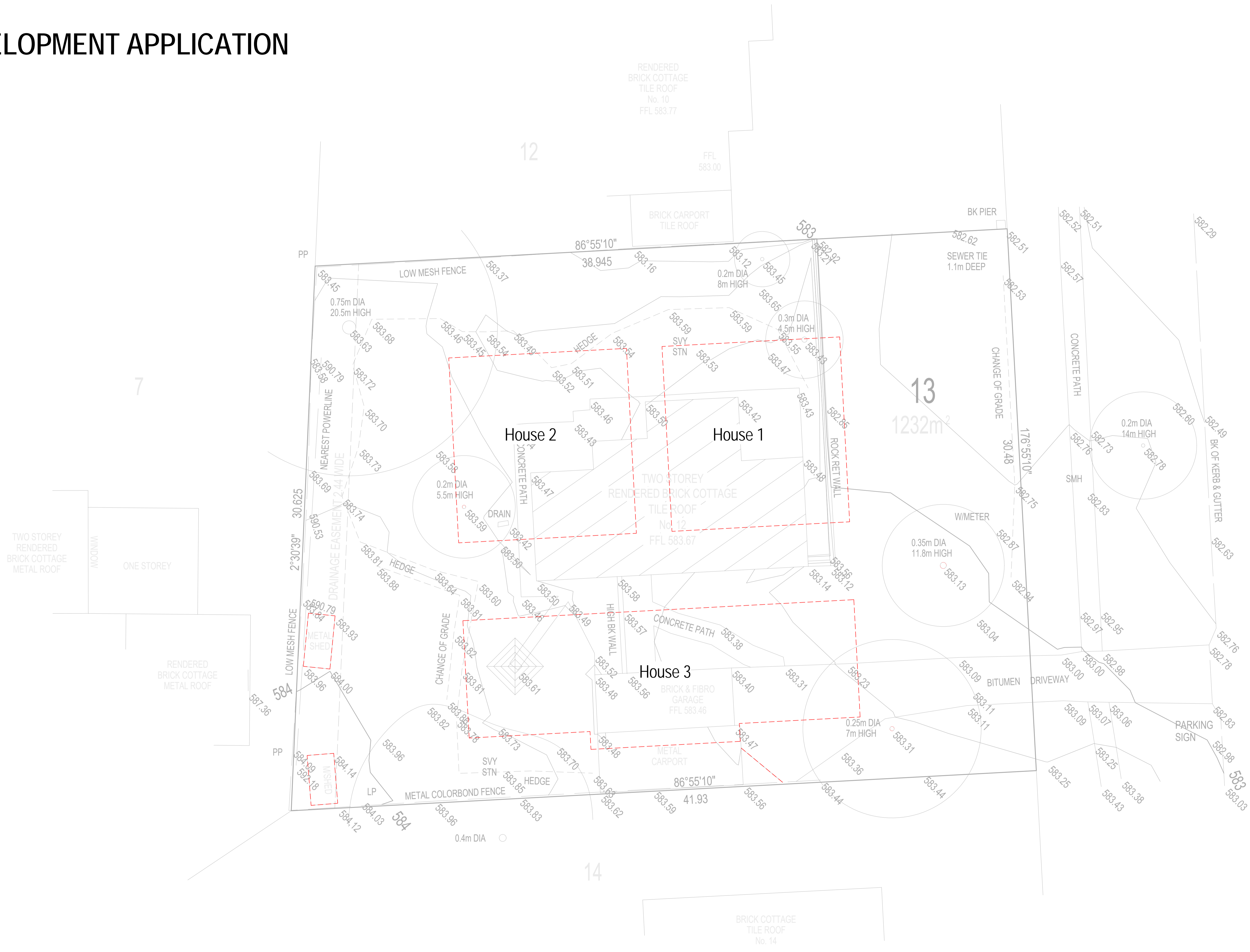
1 SETBACK CONTROLS  
1:125



2 HEIGHT CONTROLS  
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# DEVELOPMENT APPLICATION

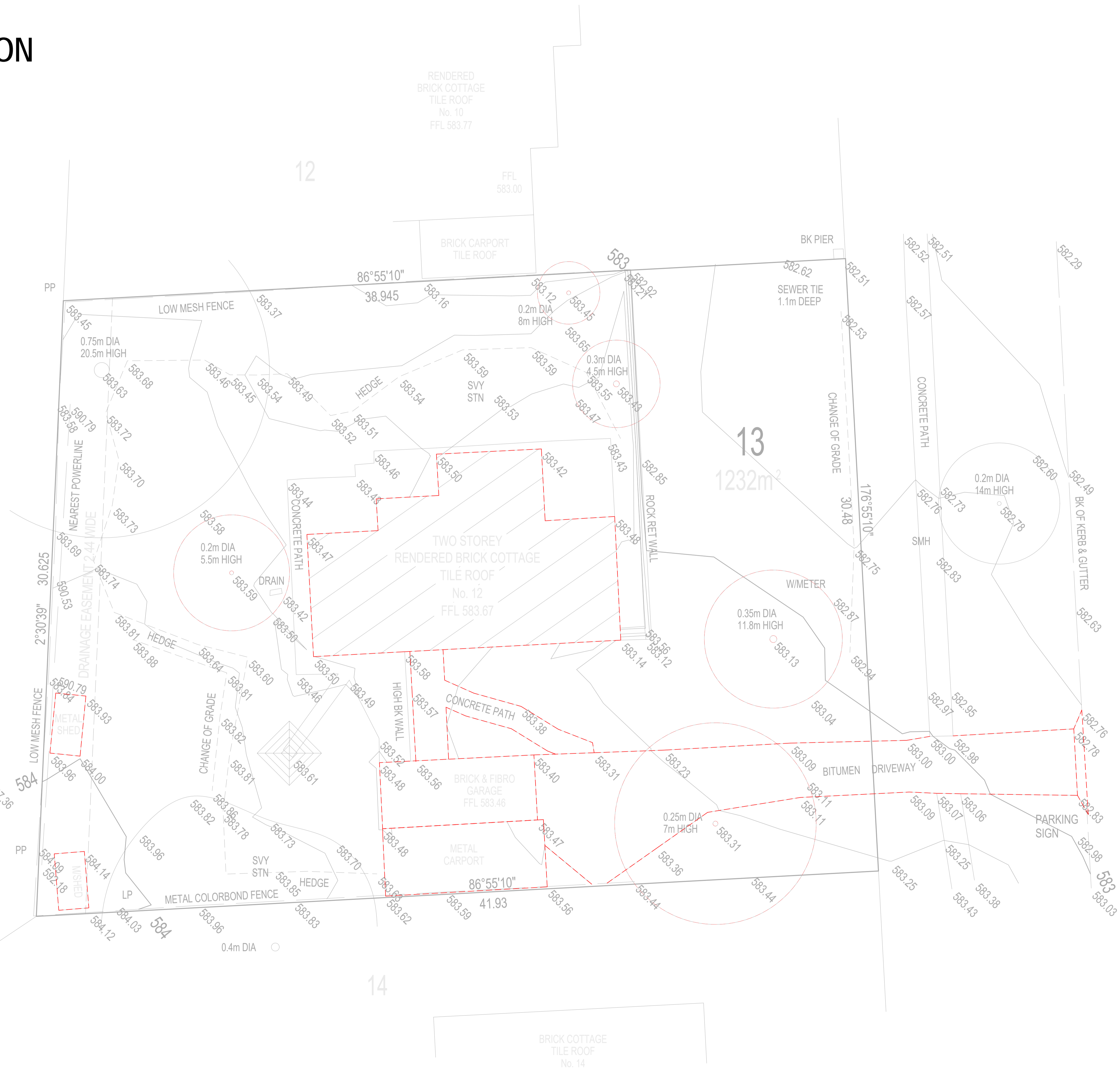
## DEMOLITION NOTES

A: PROPOSED METHOD DISMANTLE ROOF, TIMBER TRUSSES AND TIMBER BEAMS FOR SALVAGE AND RE USE, REMOVAL OF ALL GLASS AND WINDOWS FOR RE USE. BRICK WALLS TO BE DISMANTLE BY HAND AND SOLD. ANY BROKEN REMAINS TO BE CRUSHED FOR RECYCLING. INTERNAL GYPSUM WALLS AND FRAMES TO BE DISMANTLED BY HAND AND TAKEN TO TIP. THE REMAINS WOULD THEN BE MADE UP OF CONCRETE SLABS AND VERANDAS AND CONCRETE PATHWAYS AND CAR PARKING. THIS WOULD BE DELIVERED TO CANBERRA RECYCLES AT PIALLAGO FOR RECYCLING.

B: POLLUTION- AS PER ABOVE AND A.C.T. POLLUTION CONTROL LAWS.

C: ASBESTOS – FIBRO SHEET WHERE ENCOUNTERED WILL BE DISPOSED OF BY BAGGING WITH PROTECTIVE CLOTHING AS PER REGULATION AND DELIVERED AT THE APPROPRIATE AREA OF BELCONNEN TIP.

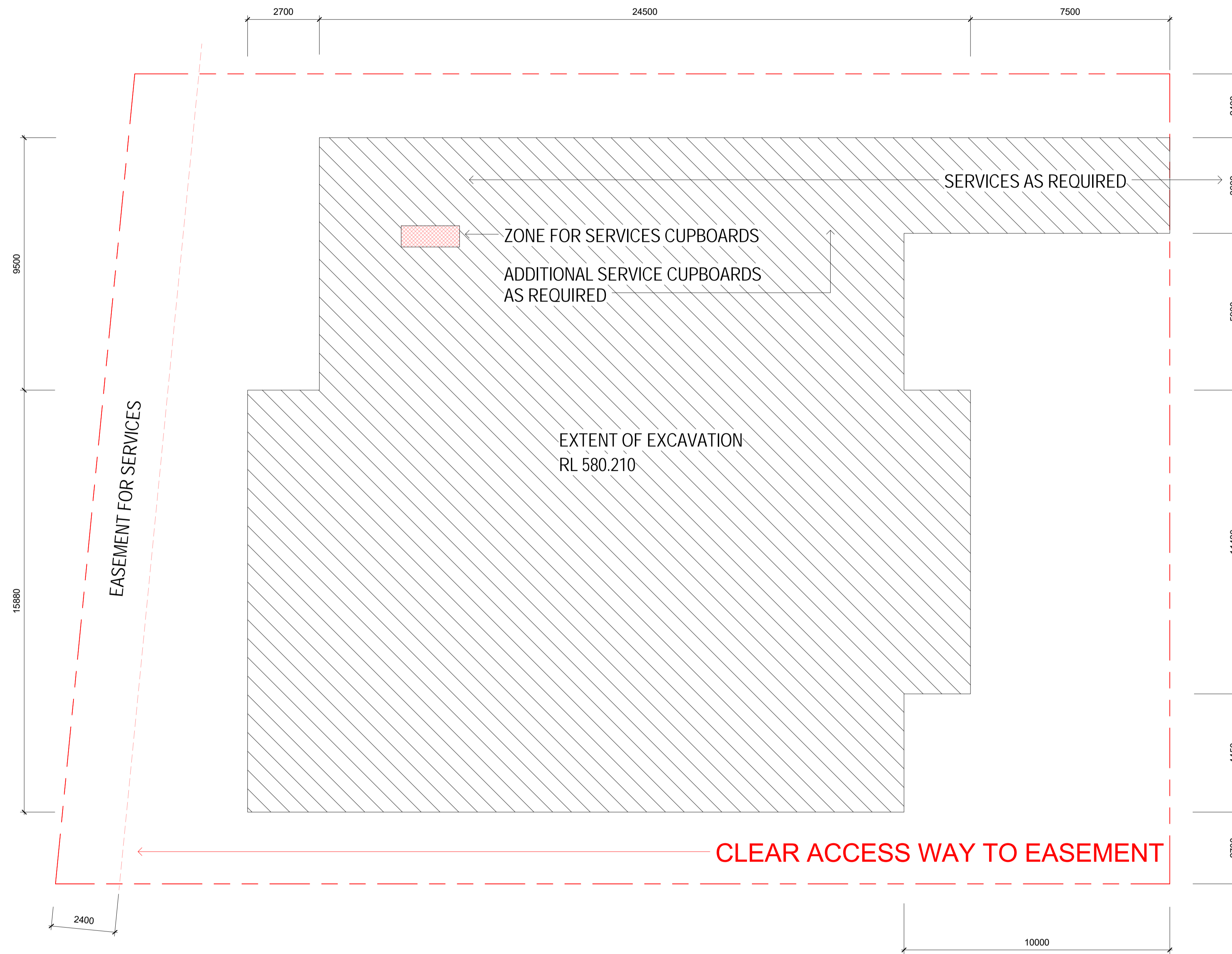
D: EXISTING SERVICES – ELECTRICITY TO BE DISCONNECTED AS PER ACTEW REQUIREMENTS AND RECONNECTED THROUGH TEMPORARY SUPPLY. SEWERAGE AND STORM WATER TO BE CAPPED OFF WHERE REQUIRED. WATER SUPPLY TO BE CAPPED OFF WHERE NECESSARY TO ALLOW FOR CONSTRUCTION. TELEPHONE LINE TO BE RELOCATED IF NECESSARY TO TELSTRA REQUIREMENTS.



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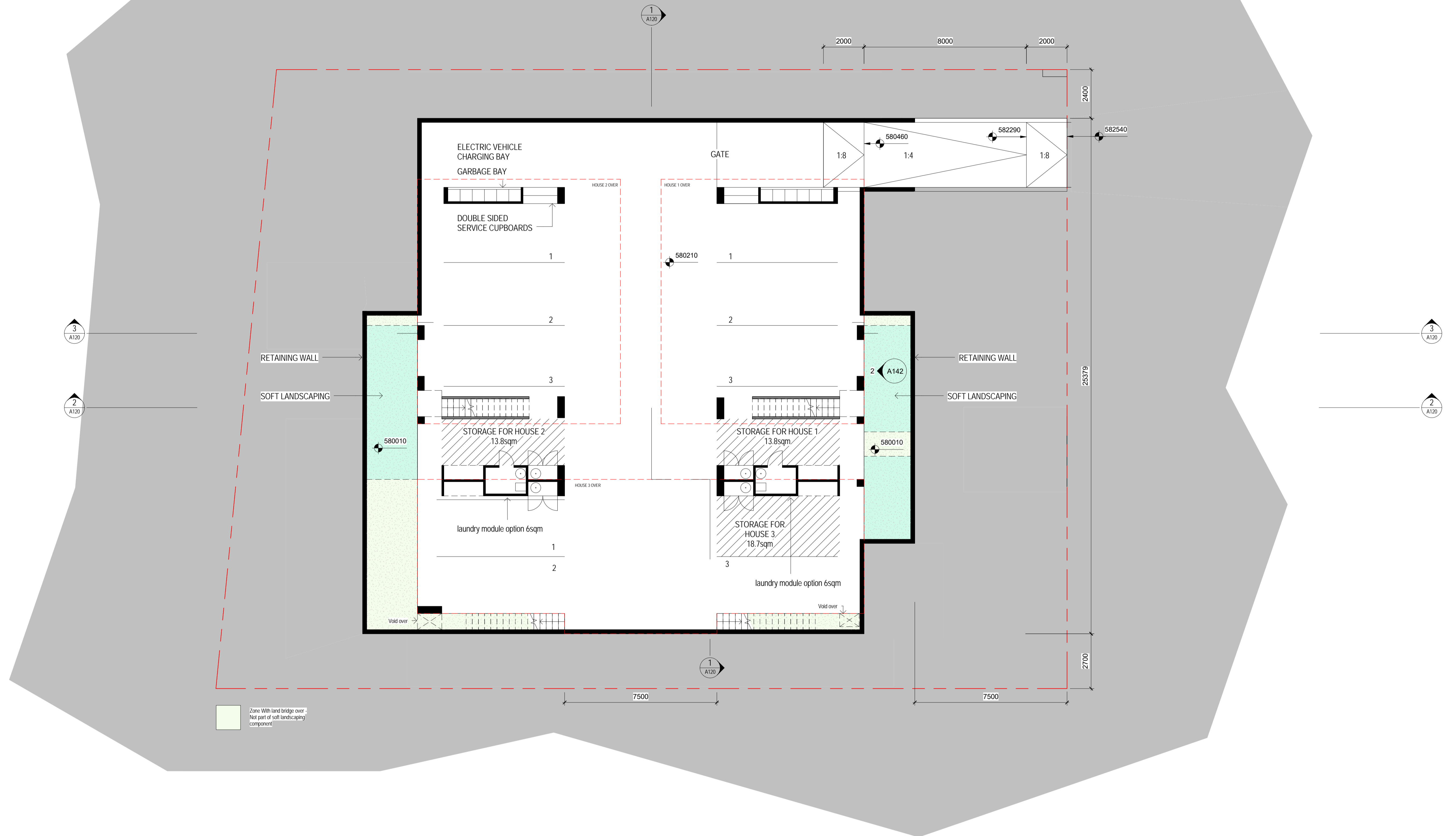
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Note: Excavation Required to Achieve a Finished Floor Level for the Parking Level of RL 580.210



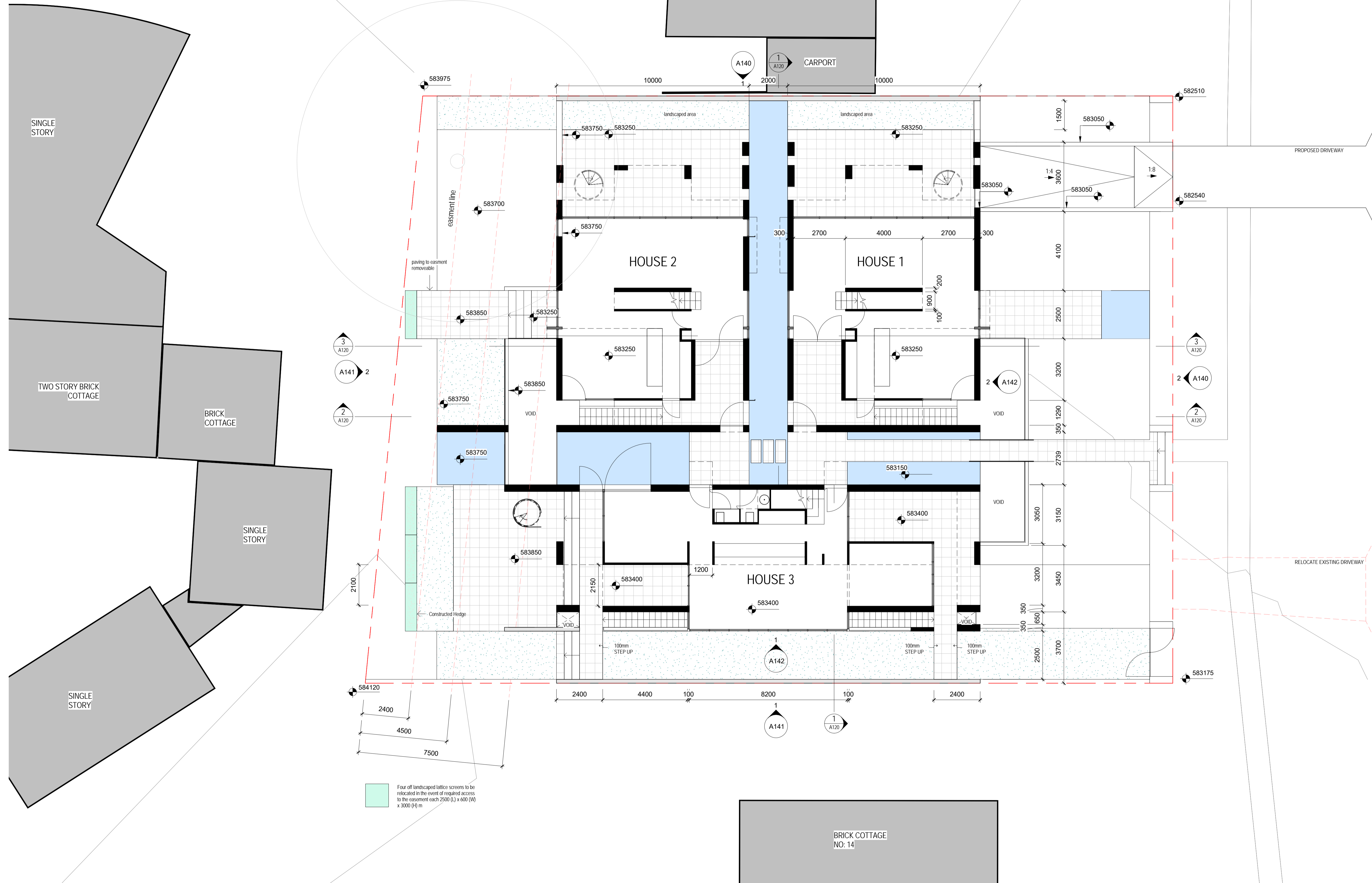
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# DEVELOPMENT APPLICATION



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# DEVELOPMENT APPLICATION

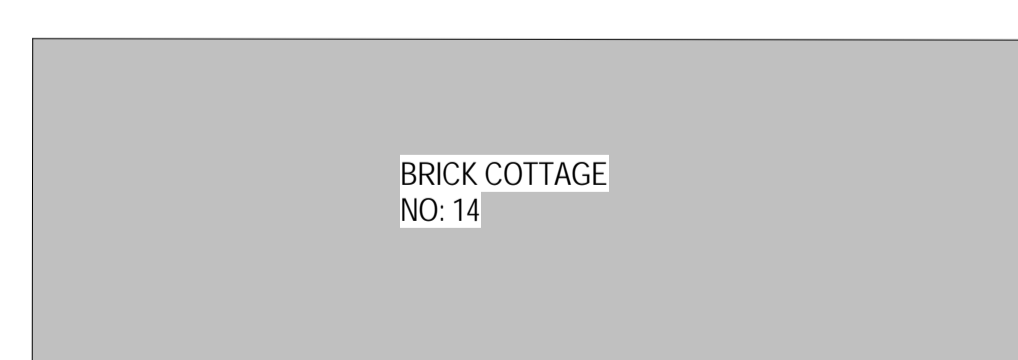
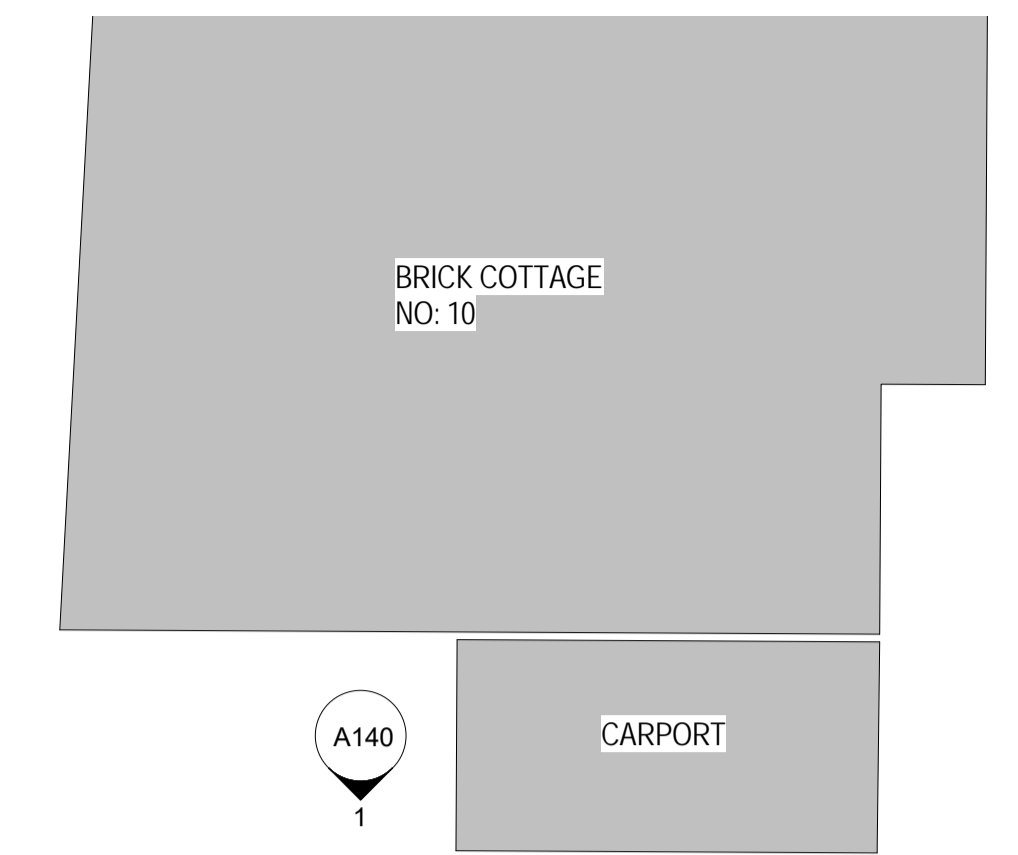
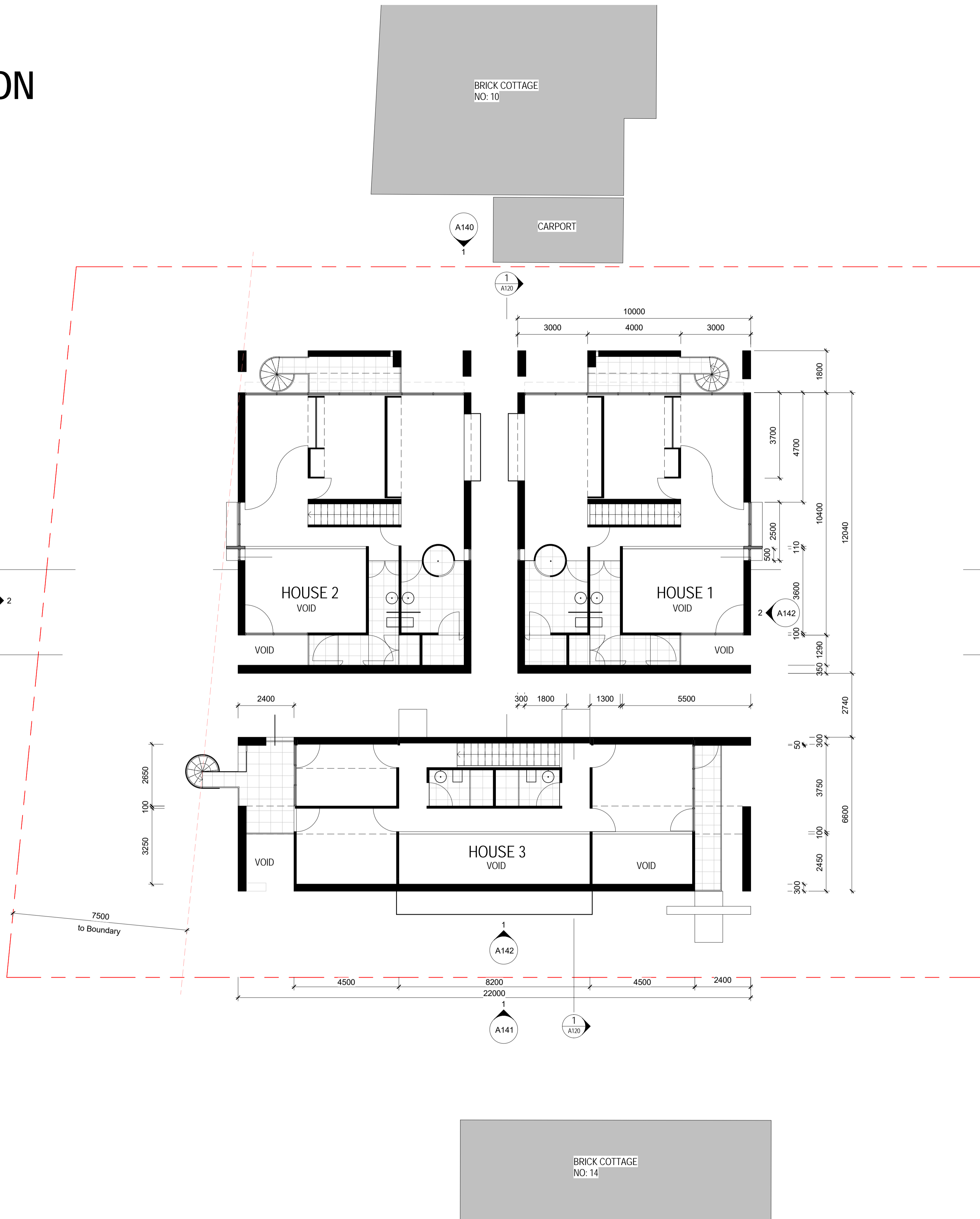


Four off landscaped lattice screens to be relocated in the event of required access to the easement each 2500 (L) x 600 (W) x 3000 (H) m

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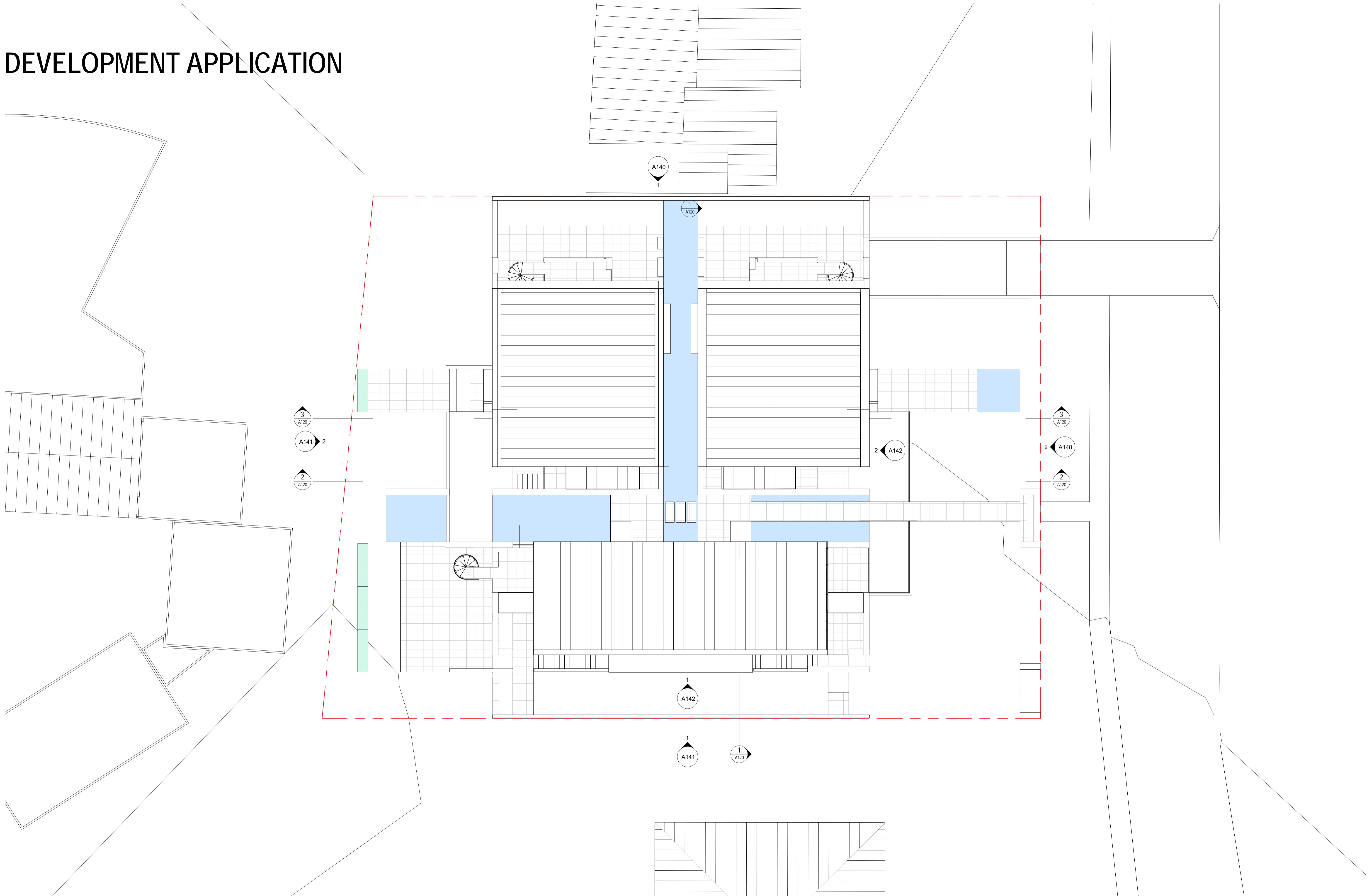


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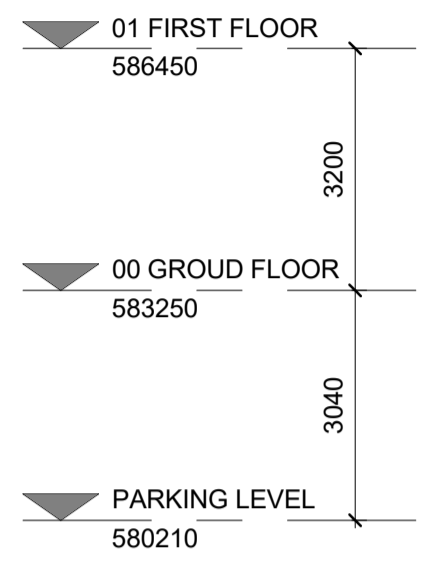
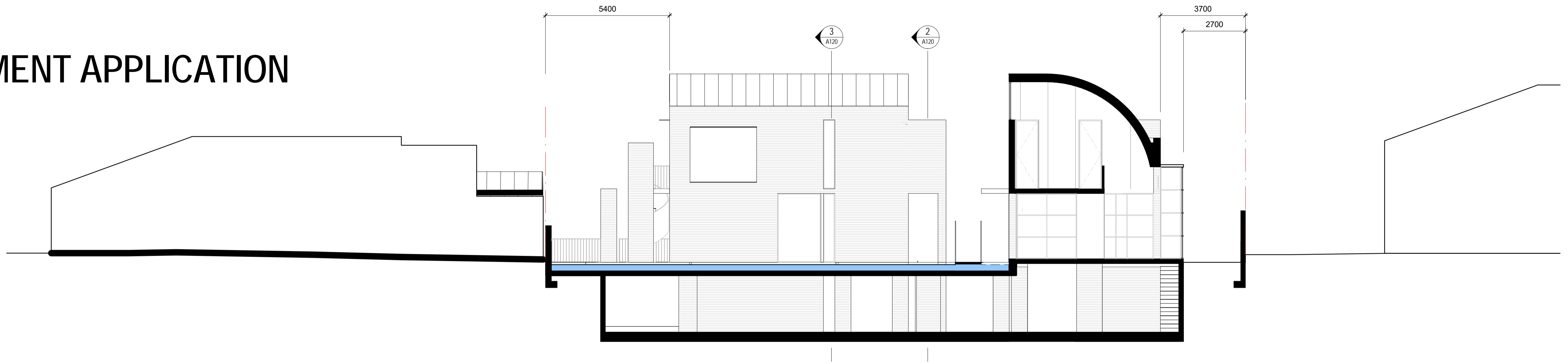
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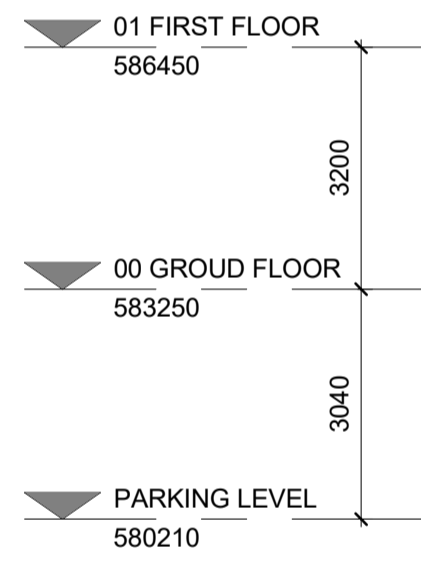
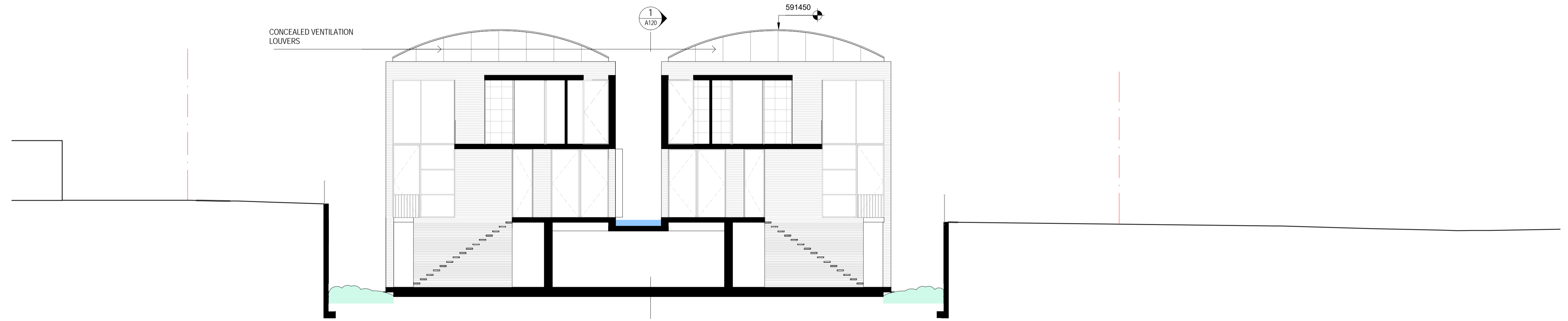


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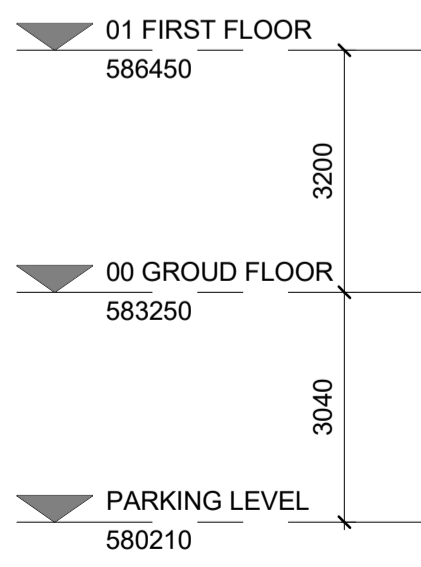
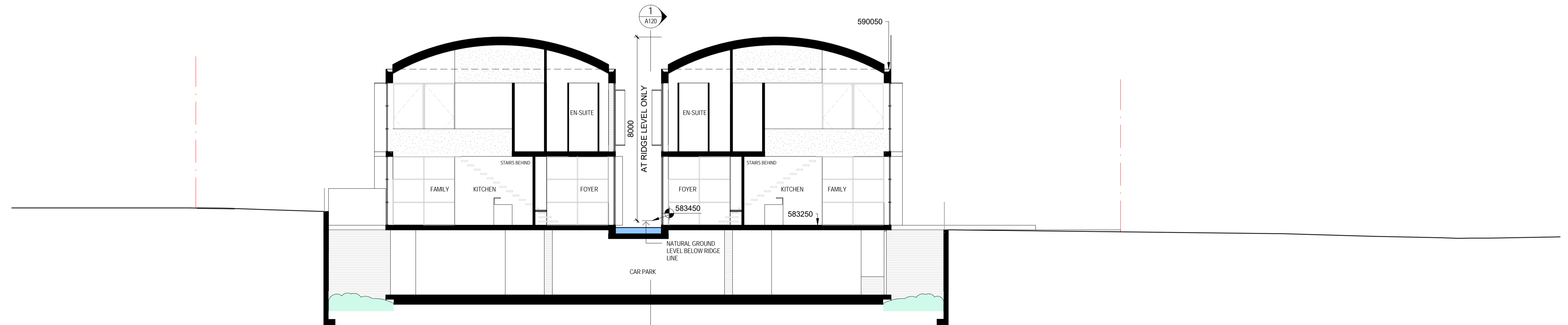
# DEVELOPMENT APPLICATION



1 NORTH SOUTH SECTION  
1:100



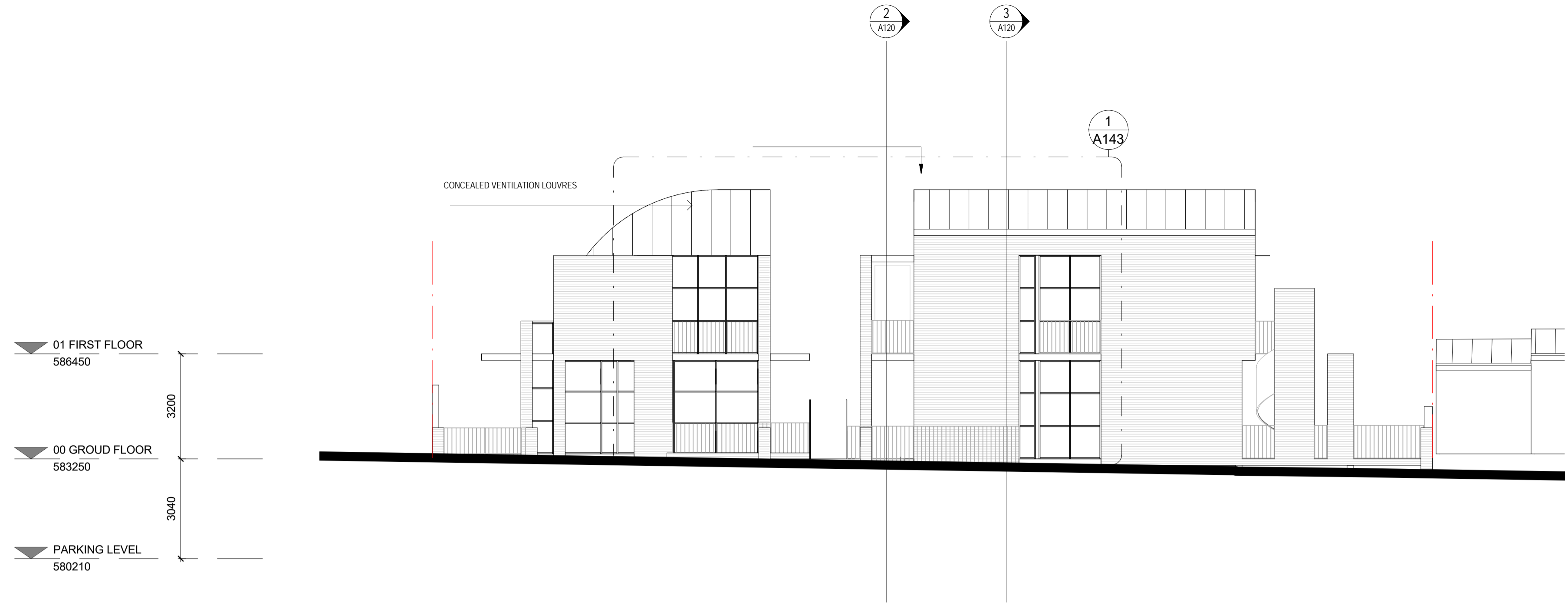
2 EAST WEST SECTION AA  
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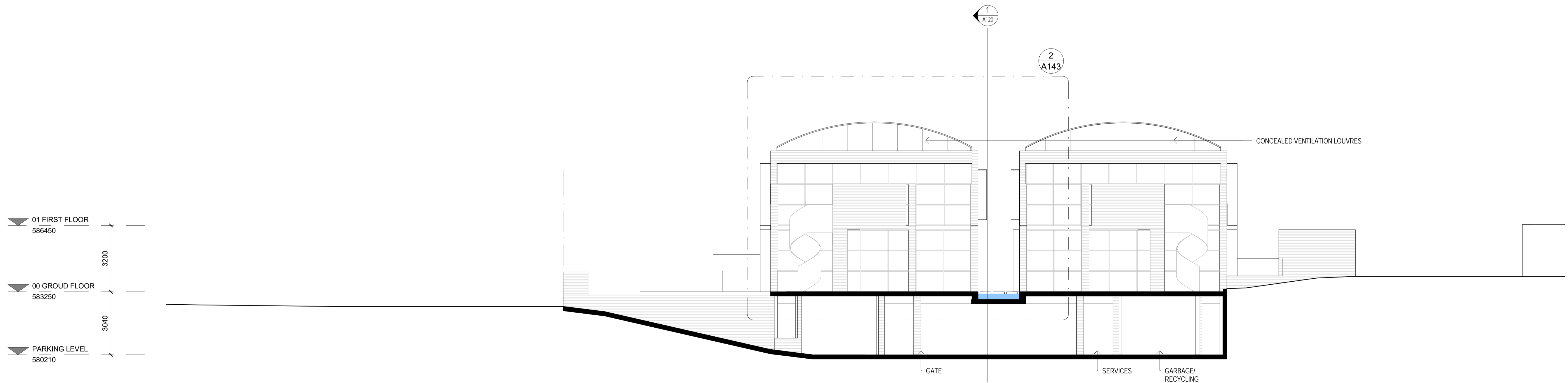
3 EAST WEST SECTION BB  
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# DEVELOPMENT APPLICATION



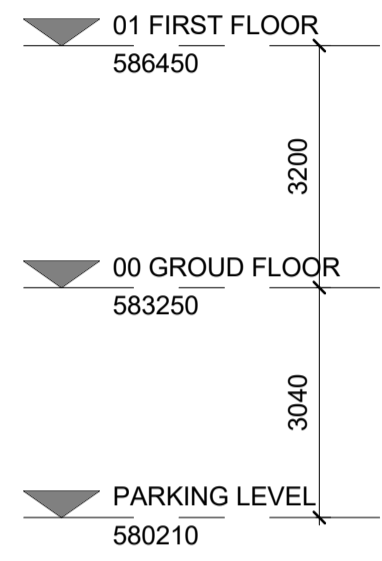
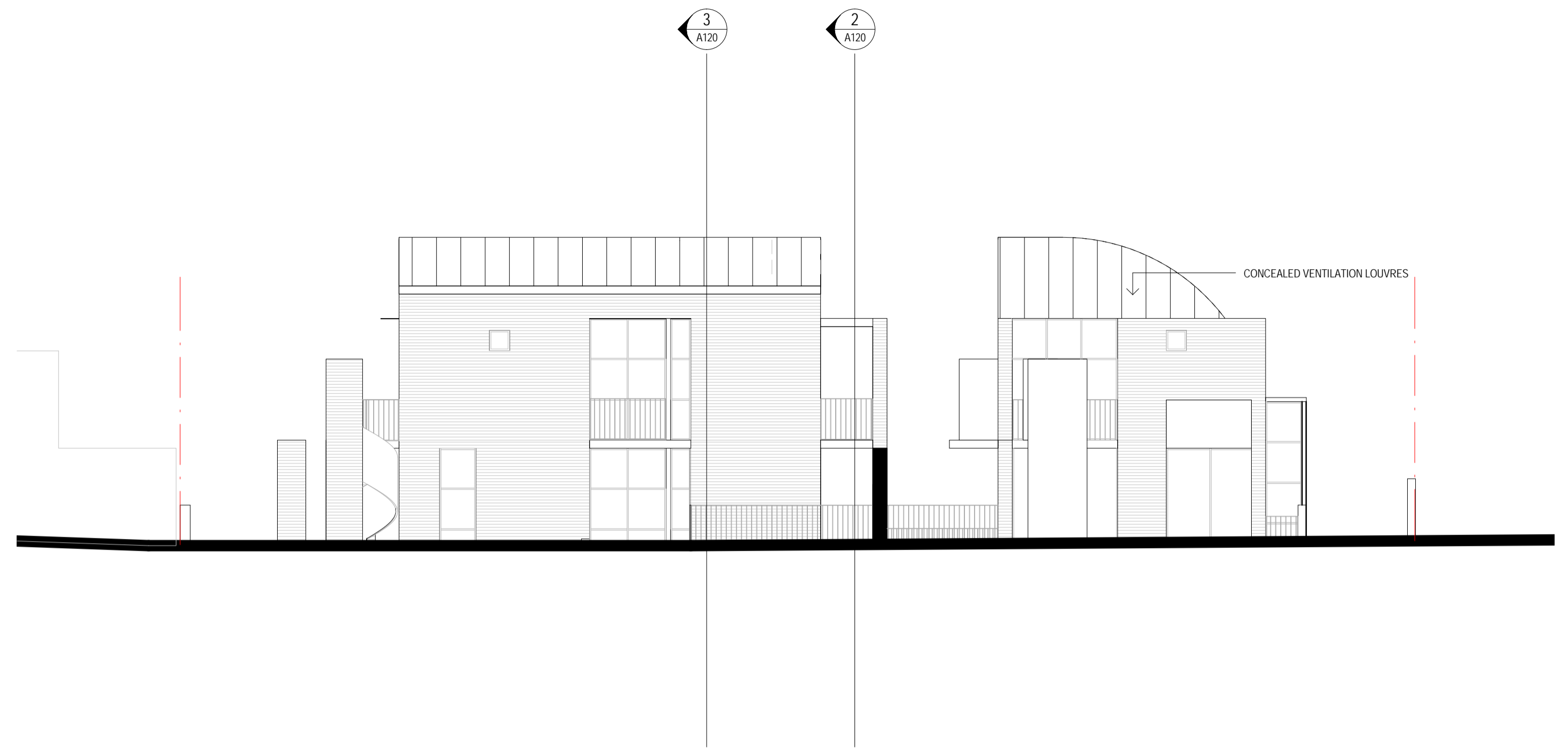
2 F\_02 EAST ELEVATION  
1:100



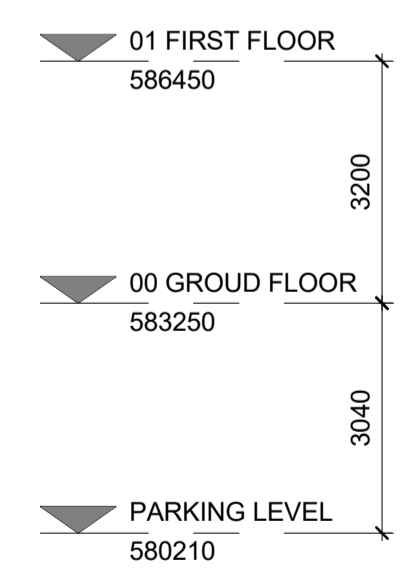
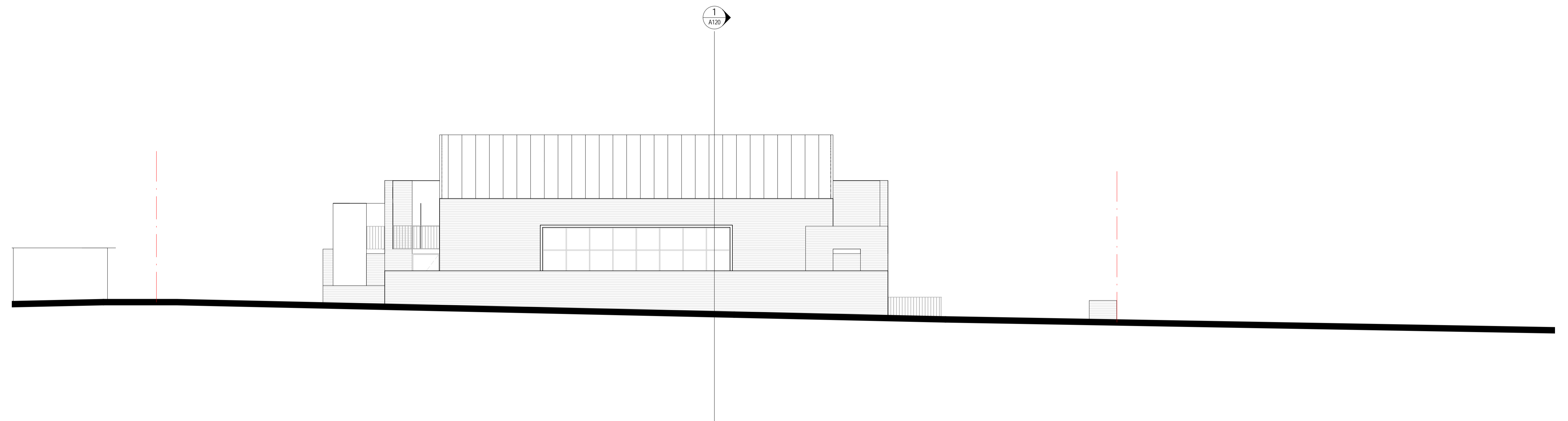
1 F\_01 NORTH ELEVATION  
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# DEVELOPMENT APPLICATION



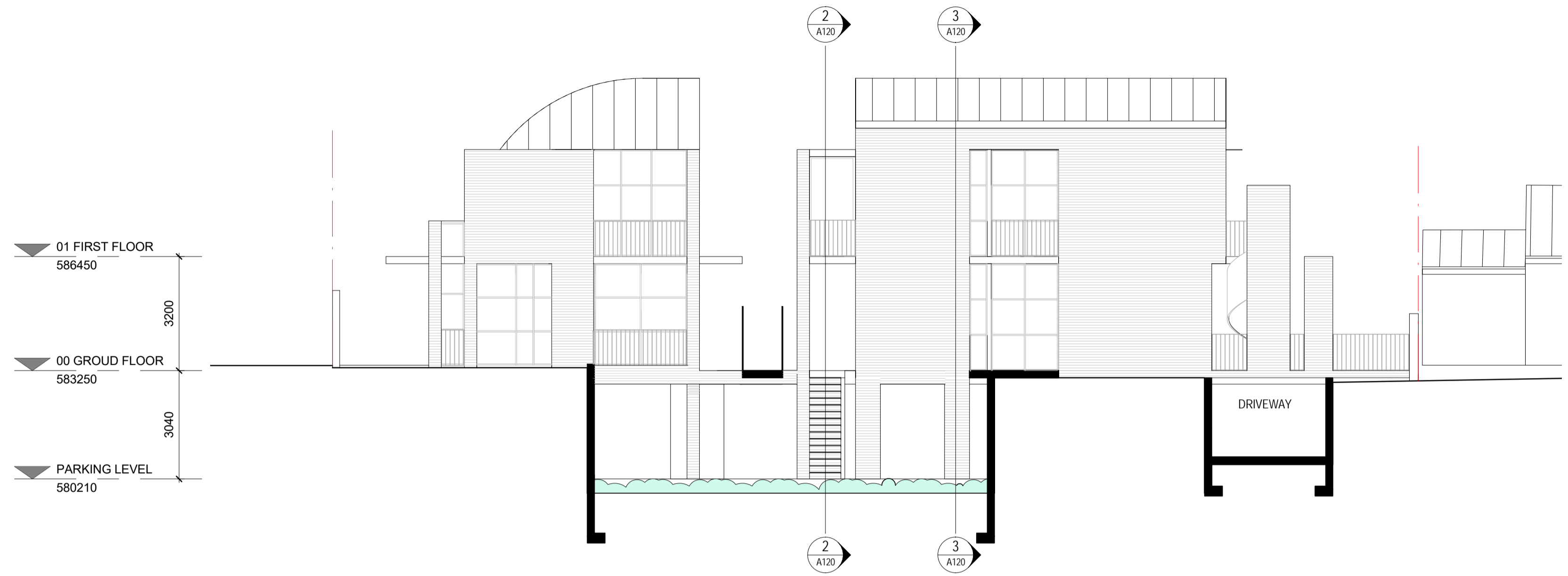
2 F\_04 WEST ELEVATION  
1:100



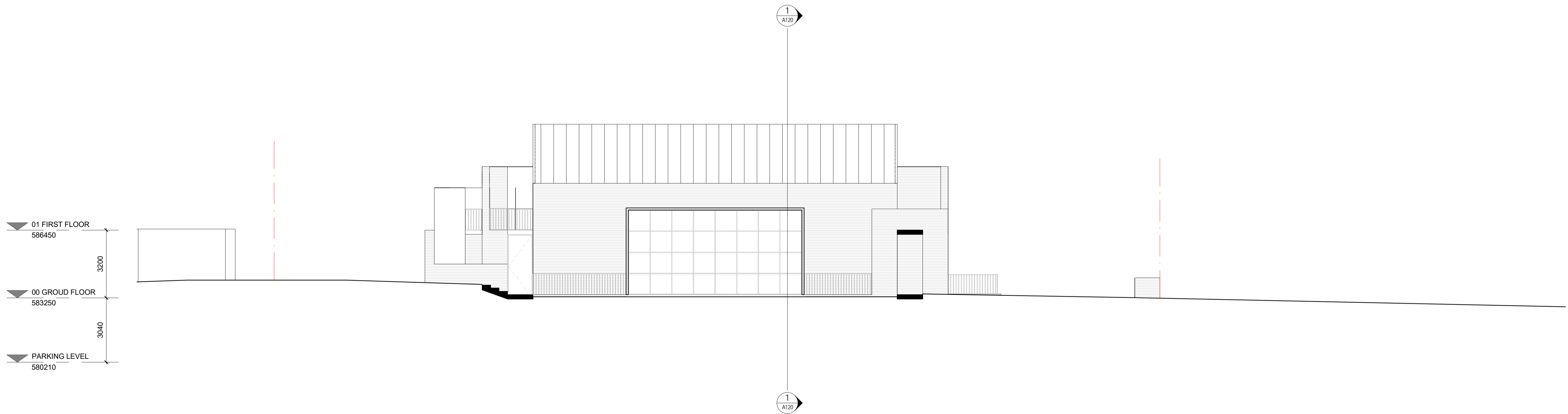
1 SOUTH ELEVATION  
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# DEVELOPMENT APPLICATION



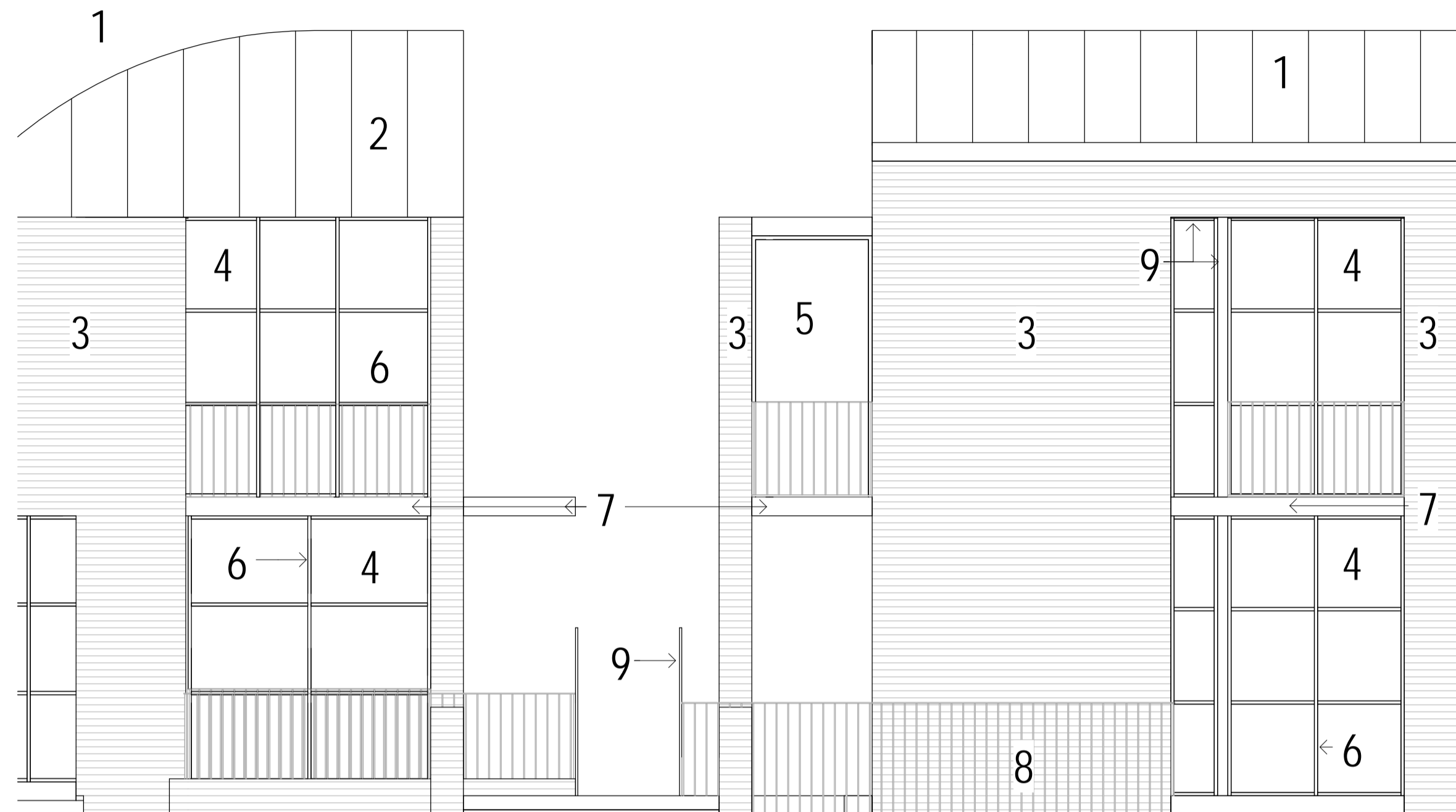
2 EAST ELEVATION 2  
1:100



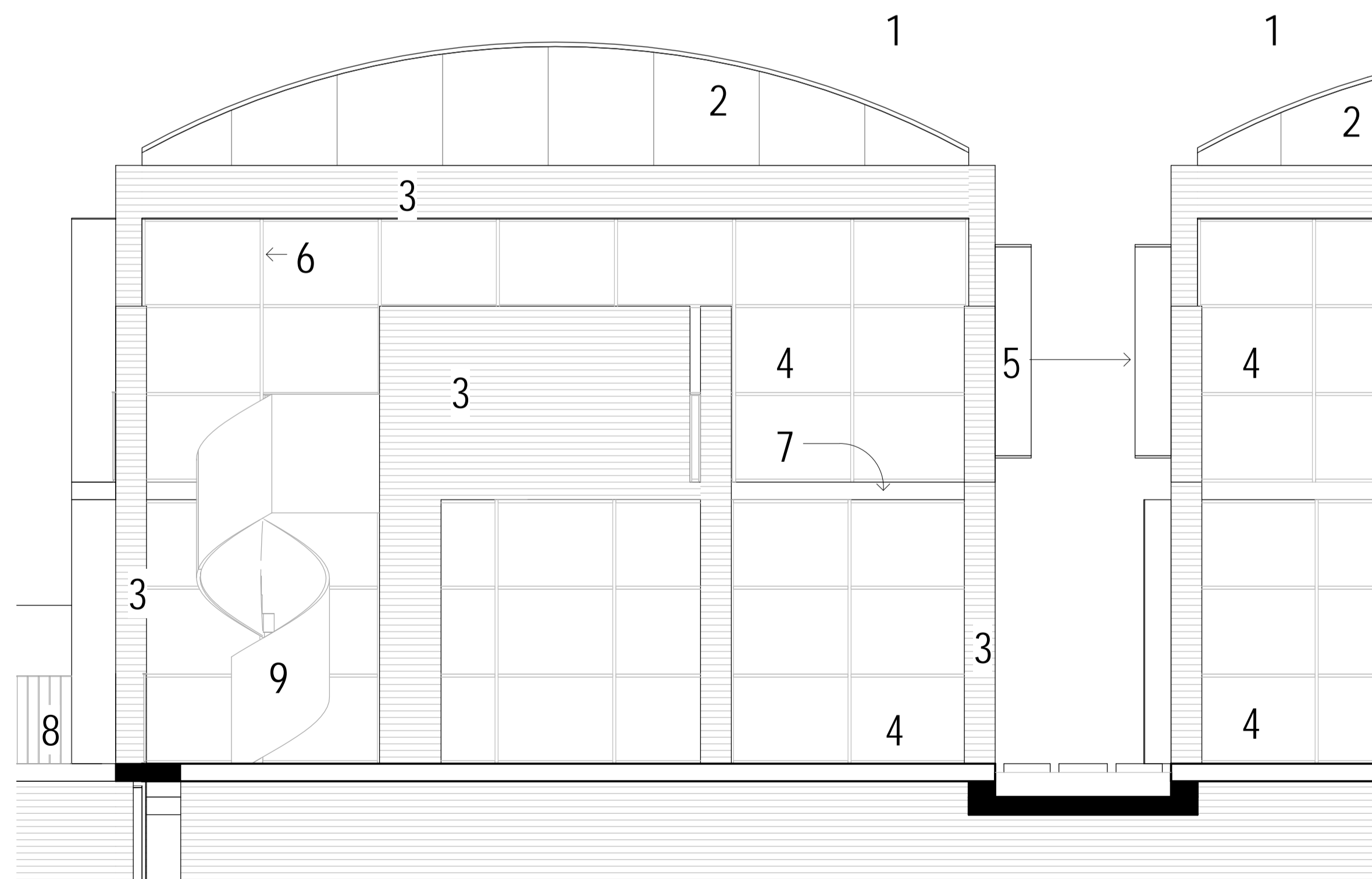
1 SOUTH ELEVATION 2  
1:100

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# DEVELOPMENT APPLICATION



1 EAST ELEVATION  
1:50



2 NORTH ELEVATION  
1:50

1 Roof - "Custom Orb" colourbond continuous single sheet all identical radius with matching trims and bullnose exposed ends. All box gutters and flashing to match. Colour: monument

2 End Gables compressed cement panel system with all shadow joints and with end joints to include concealed louvres for cross ventilation with these louvres to be flush with panel system and of a matching material. Colour: Basalt

3 Walls - generally white bagged and painted cavity brickwork. All boundary and garden walls to be rendered and painted light green. Colour: Sage Green Dulux  
Note: Some walls not visible from Hobart Avenue will have a different paint colour however the overwhelming colour is white.

4 Glazing - Clear double glazed.

5 Pilkington white translucent double glazed units.

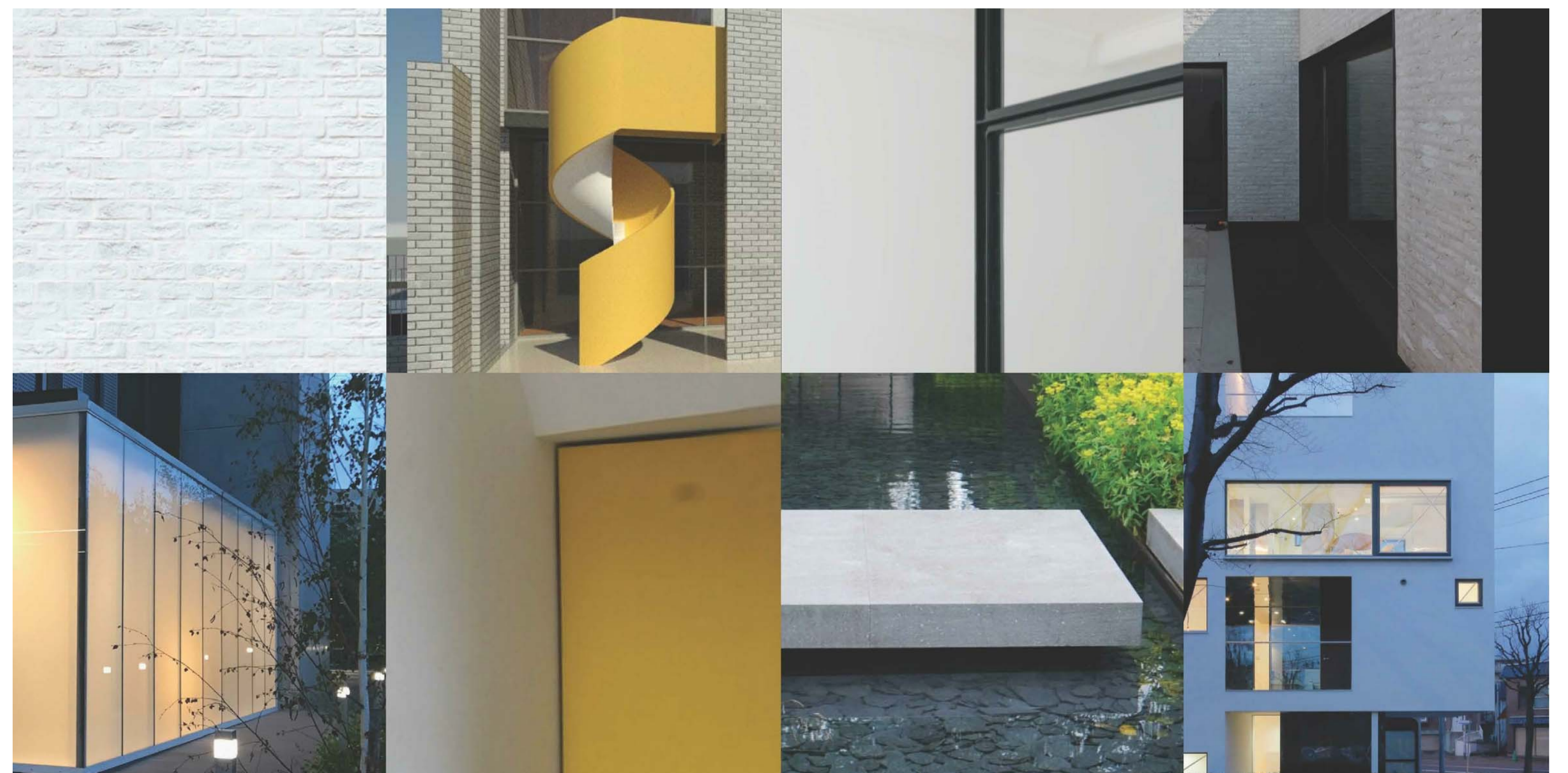
6 All window and door framing Dulux charcoal colour powder coated aluminium sections

7 White painted and rendered concrete

8 Powder Coated metal railings and balustrading in white

9 Metal work, entry bridge balcony projection, balcony canopy. Colour Dulux Goldrush

10 Paving precast concrete pavers Colour: White



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# DEVELOPMENT APPLICATION

## EXTERIOR FINISHES SCHEDULE

TYPE	CODE	AREA	DESCRIPTION	SUPPLIER	NAME
FAÇADE FINISHES	WLF_01	EXTERIOR WALLS	BAGGED BRICKWORK, PAINTED	DULUX	OFF WHITE
	WLF_02	BASEMENT WALLS	BLOCK WORK, RAKED JOINT - STAINED WITH OXIDE	NAWKAW	WOOD DUCK 'E36'
	WLF_03	BOUNDARY AND GARDEN WALLS	RENDERED AND PAINTED, COLOUR MATCHED TO CONCRETE STAIN WLF_02	DULUX	LIGHT GREEN
	WLF_04	FEATURE ACCENT COLOUR	PAINTED	DULUX	YELLOW
METALWORK FINISHES	MWF_01	WINDOW AND DOOR FRAMING	ANODISED OR PAINTED ALUMINIUM	DULUX	CHARCOAL
	MWF_02	STEELWORK	MICACEOUS IRON OXIDE UNDERCOAT, POWDER COAT FINISH	DULUX	CHARCOAL
	MWF_03	RAILINGS AND BALUSTRADE	MICACEOUS IRON OXIDE UNDERCOAT, POWDER COAT FINISH	DULUX	WHITE
GLAZING FINISH	GLF_01	WINDOW GLAZING	HIGH CLARITY GLASS, WITH LOW IRON - FERRIS OXIDE CONTENT < 0.02%	PILKINGTON	CLEAR WHITE
	GLF_02	WINDOW GLAZING ALTERNATIVE	WHITE TRANSLUCENT GLASS		
ROOF	RF_01	ROOF, TRIMS, FLASHINGS ETC.	STEEL PROFILED	COLOURBOND	CUSTOM ORB CHARCOAL



## BASIX REQUIREMENTS

- SOLAR HOT WATER UNIT (ELECTRIC BOOSTED)
- MINIMUM 40% FLUORESCENT OR LED LIGHTS TO BE INSTALLED
- SHOWER HEADS TO BE 3 STAR WELLS RATED WITH A MAXIMUM 9L/M FLOW
- TOILETS TO BE 3 STAR WELLS RATED WITH A MAXIMUM 4L FLUSH
- TAPS TO BE 3 STAR WELLS RATED WITH A MAXIMUM 9L/M FLOW
- ALL PROPOSED EXTERNAL WALLS TO HAVE R1.30 INSULATION (OR R1.70 INCLUDING CONSTRUCTION)
- CEILING WITH FOIL BACKED BLANKET 100mm WITH LIGHT SOLAR ABSORBTANCE OF >0.475
- GLAZING REQUIREMENTS GENERALLY @ u7.63 EXCEPT FOR NE GLAZED LINK @ u6.39

## COMPLIANCE NOTES

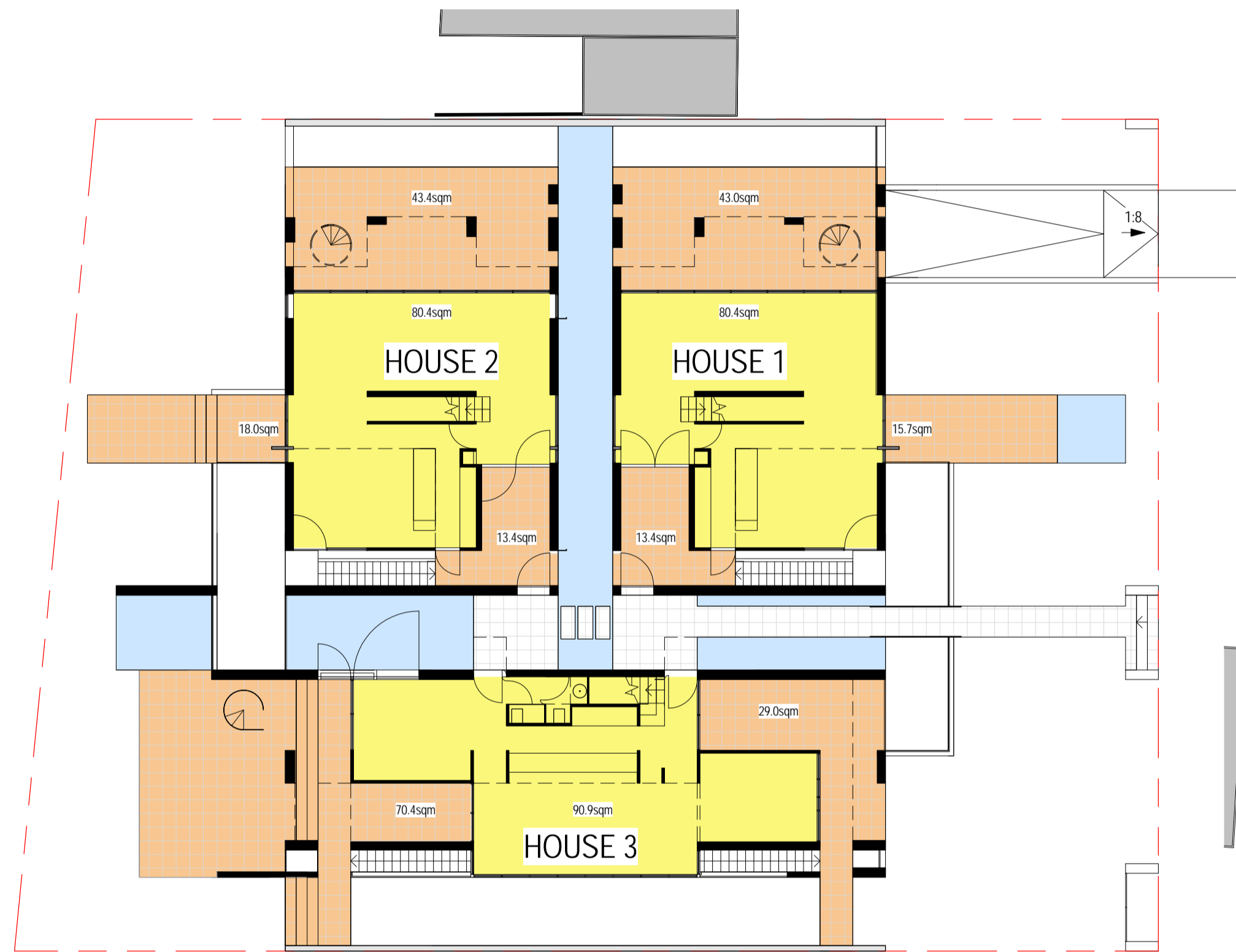
GENERAL: IN ADDITION TO THE ITEMS BELOW, CONSTRUCTION IS TO COMPLY WITH ALL RELEVANT PARTS OF THE NCC & AUSTRALIAN STANDARDS AS WELL AS RELEVANT INDUSTRY STANDARDS.

- THE CONSTRUCTION OF EXTERNAL WALLS WITHIN 900mm OF THE BOUNDARY MUST HAVE AN FRL OF 60/60/60 IN ACCORDANCE WITH 3.7.1.5 OF THE BCA
- SEPARATING WALLS (PARTY WALLS) TO HAVE AN FRL OF 60/60/60
- THE ROOF IS TO BE CONSTRUCTED OF NON COMBUSTABLE SHEETING
- THE EXTERNAL AND SEPARATING WALLS ARE TO BE SEALED AGAINST THE ROOFING MATERIAL
- ALL SERVICE OPENINGS IN EXTERNAL WALLS AND PARTY WALLS ARE TO HAVE AN FRL OF -/60/60 IN ACCORDANCE WITH 3.7.1.8 (BCA)
- SARKING MATERIAL USED IN THE ROOF MUST HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5
- DUCTWORK FROM COOKTOPS MUST COMPLY WITH AS4254
- COMPLIANT SMOKE ALARMS ARE TO BE LOCATED IN THE ATTIC ADJACENT TO THE STAIR, IN THE HALLWAY THAT SEPARATES THE BEDROOMS AND ON THE GROUND FLOOR NEAR THE STAIRS IN COMPLIANCE WITH 3.7.2.2 (BCA)
- BUILDING ELEMENTS IN WET AREAS ARE TO COMPLY WITH AS 3740
- MECHANICAL VENTILATION IS TO COMPLY WITH AS1668
- ALL PLUMBING WORKS ARE TO COMPLY WITH AS3500
- ELECTRICAL WORKS ARE TO COMPLY WITH AS3000
- ALL GLAZING TO COMPLY WITH AS1170 & AS1288
- BALUSTRADES TO COMPLY WITH AS1170.1
- TURMITE PROTECTION TO COMPLY WITH AS3660.1

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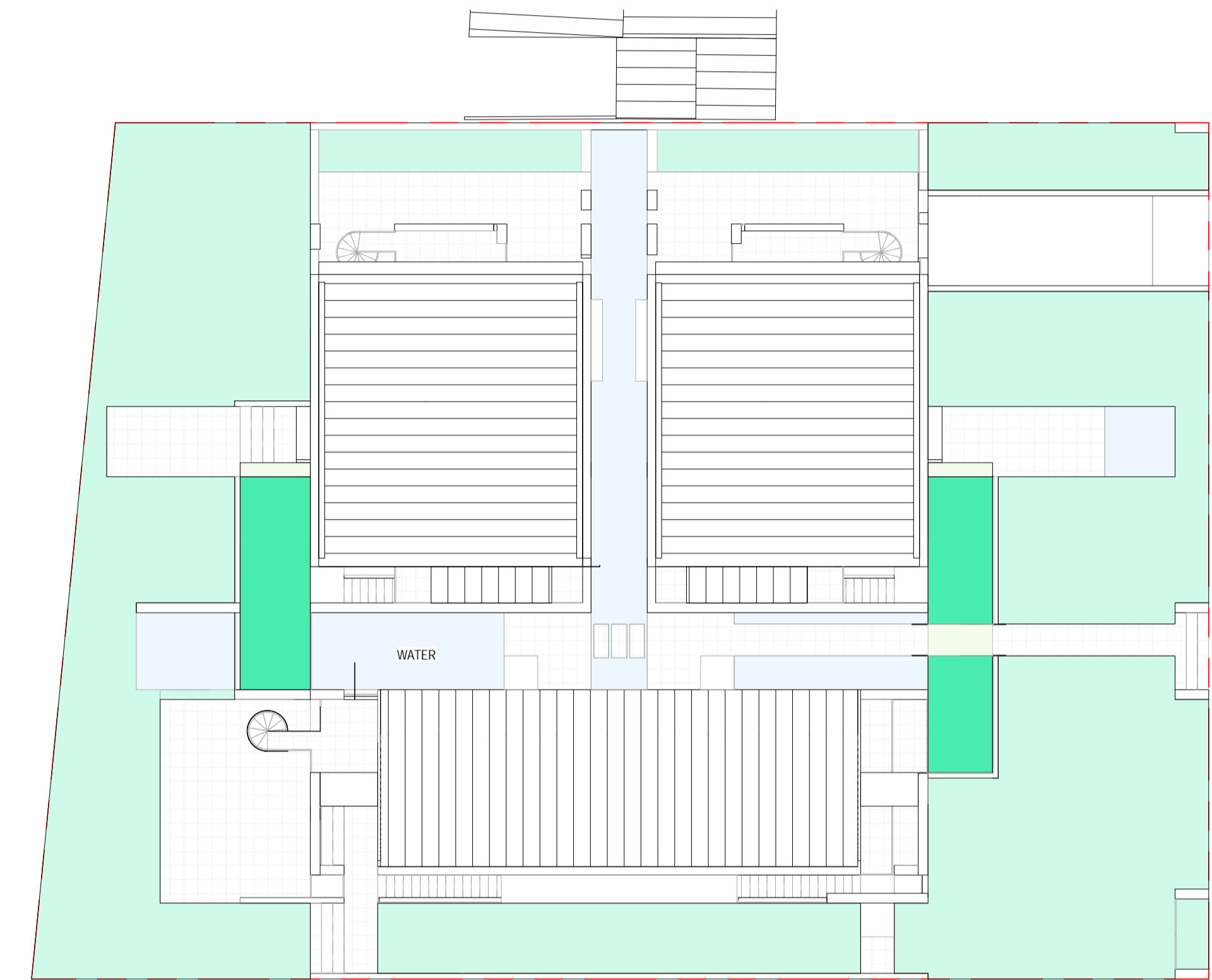
# DEVELOPMENT APPLICATION



1 GROUND FLOOR AREA PLAN  
1:170



2 FIRST FLOOR AREA PLAN  
1:170



3 SITE PLAN SOFTLANDSCAPE AREA  
1:170

## Gross Floor Area - Ground and First Floor

Grand Total = 493.0sqm  
 House 1 = 159.7sqm  
 House 2 = 159.7sqm  
 House 3 = 161.6sqm  
 REQUIREMENT MAXIMUM 0.40:1 OR 493sqm

Note:  
6x2sqm of laundry modules  
on parking level

## Private Open Space - Ground and First Floor

Grand Total = 246.2sqm  
 House 1 = 72.1sqm  
 House 2 = 74.8sqm  
 House 3 = 99.3sqm

## Soft Landscaping

Grand Total = 495 Sqm  
 REQUIREMENT MINIMUM 40% OR 493 Sqm

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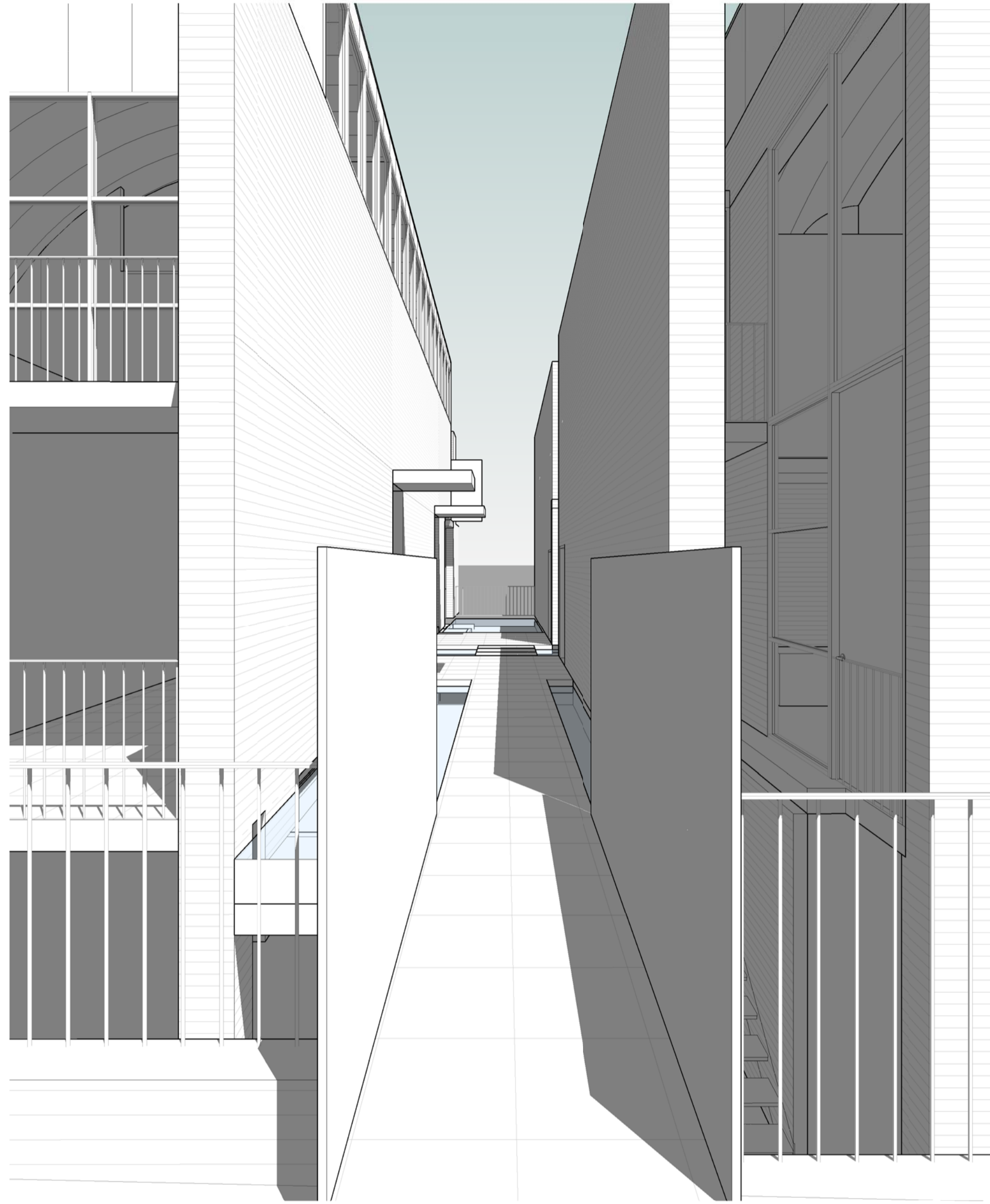
1 SOUTH WEST HOBART AV. PERSPECTIVE



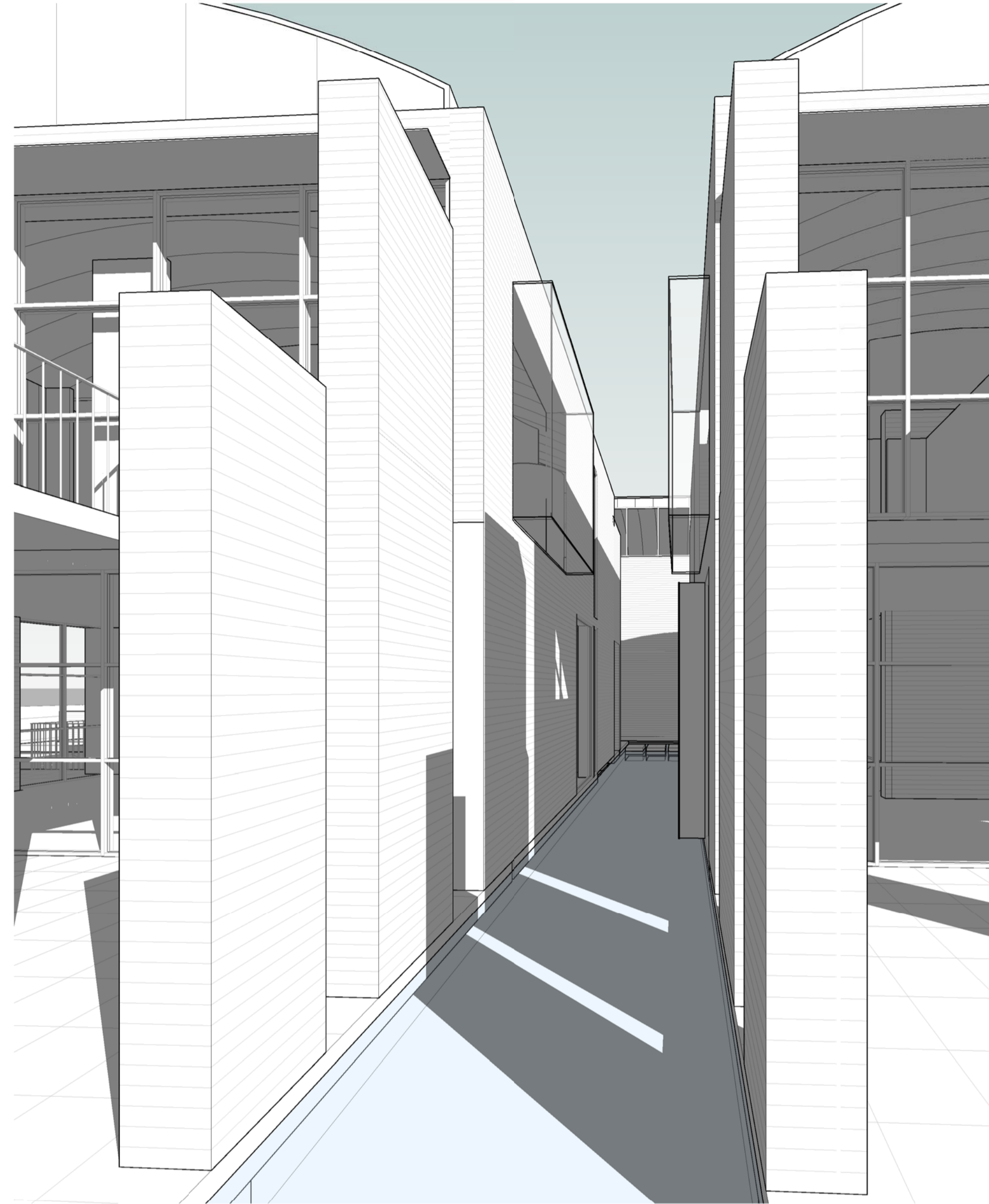
2 NORTH WEST - HOBART AV. PERSPECTIVE

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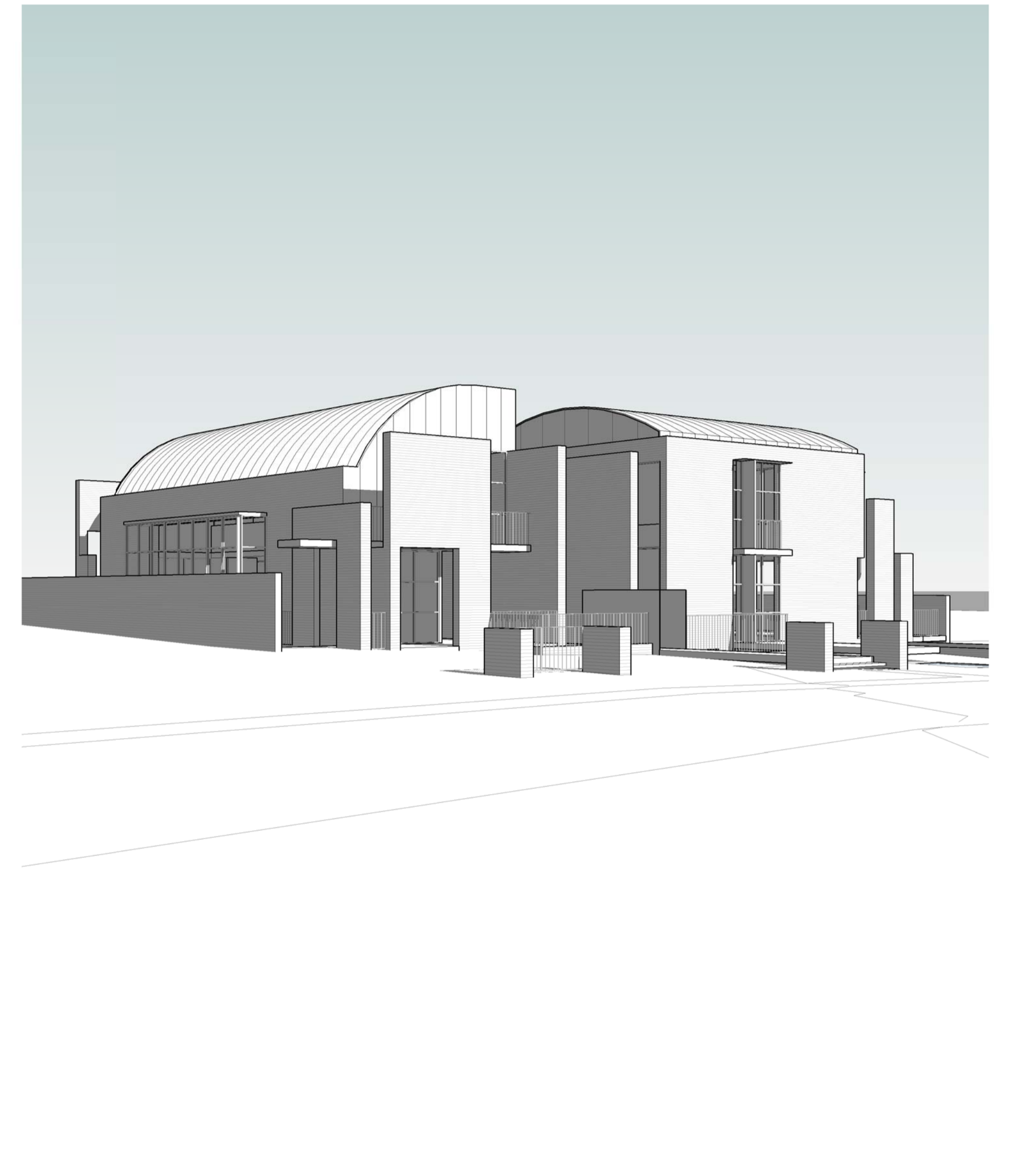
# DEVELOPMENT APPLICATION



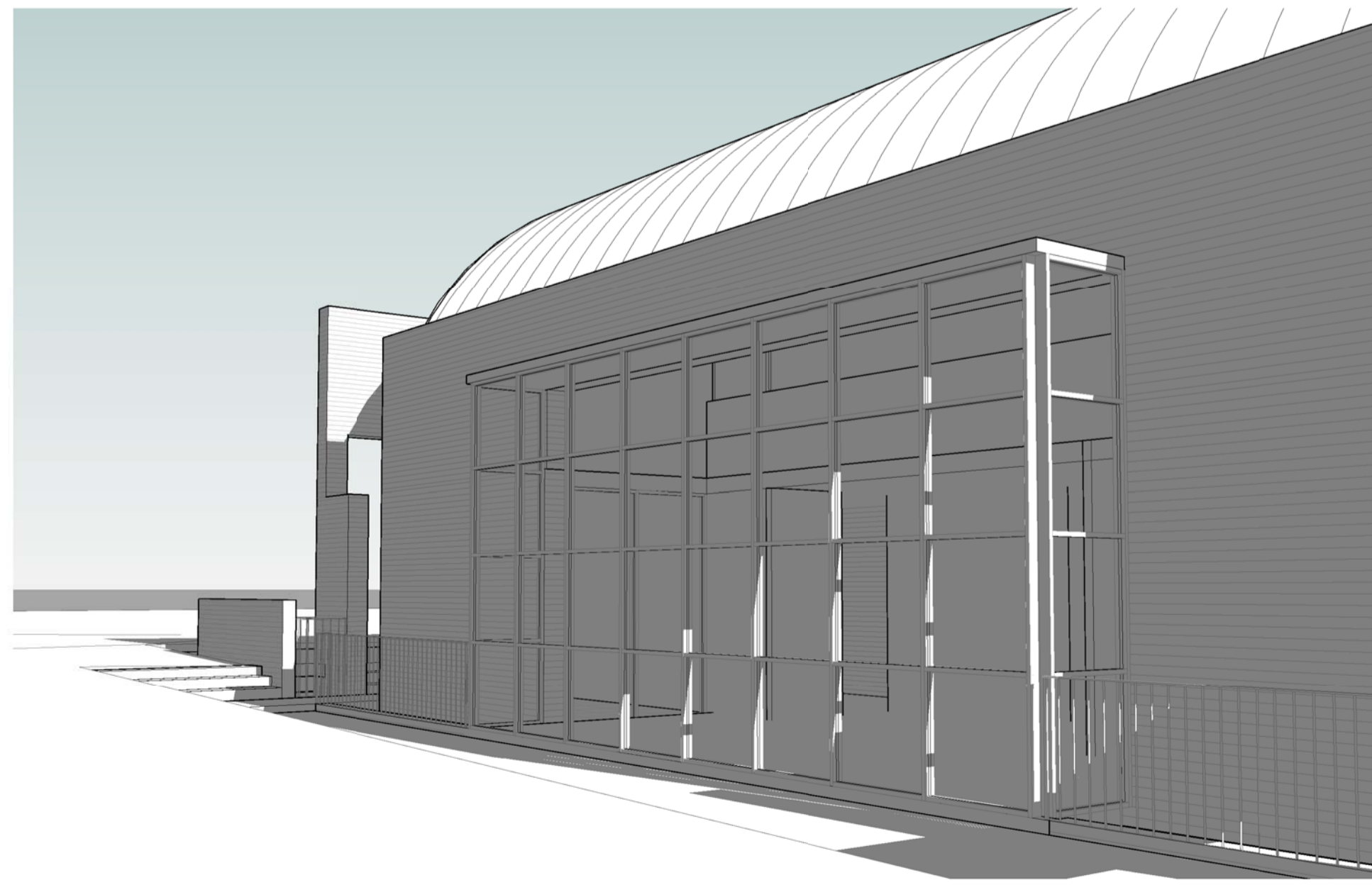
1 VISTA LOOKING WEST THROUGH SITE



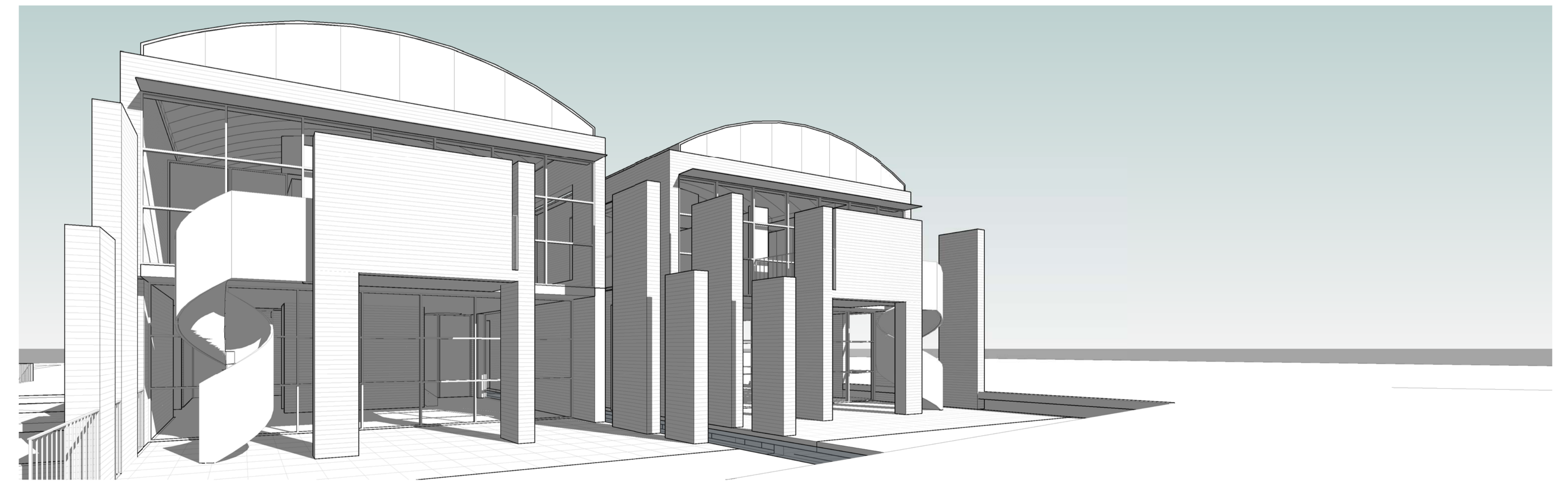
3 WATER LANDSCAPING ELEMENT BETWEEN HOUSE 1 AND 2



5 STREET VIEW



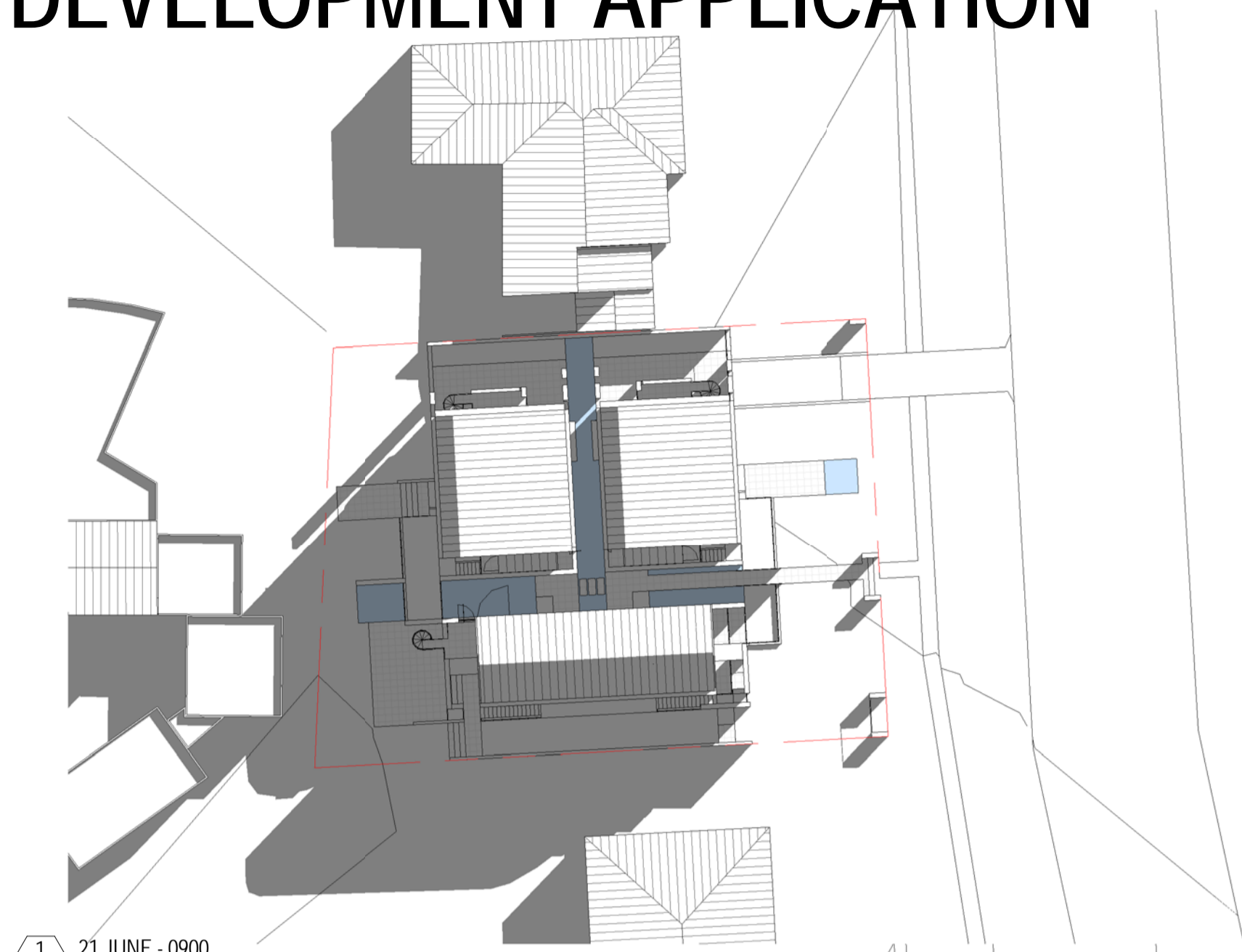
2 SOUTHERN VIEW OF HOUSE 3



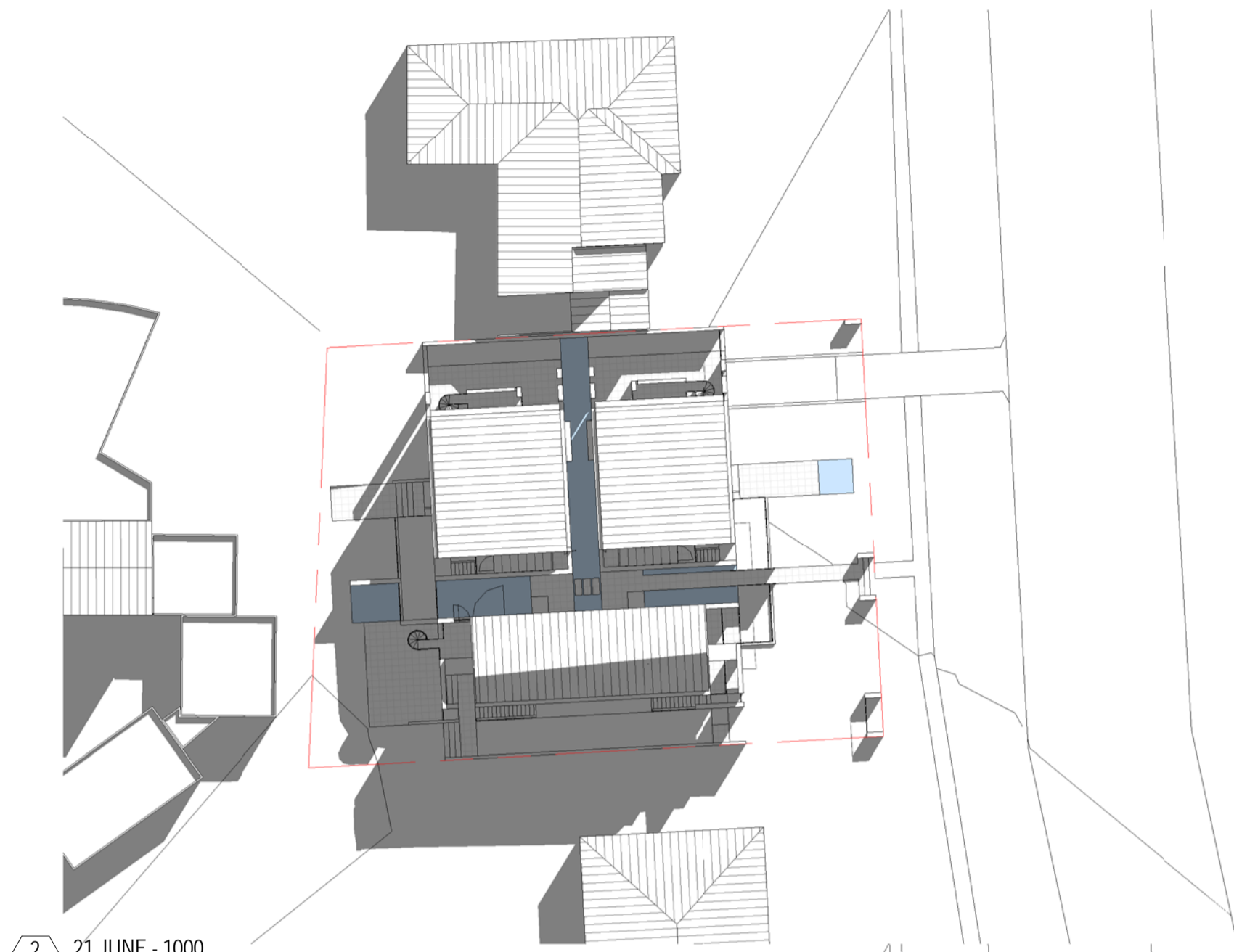
4 HOUSE 1 - PRIVATE OPEN SPACE

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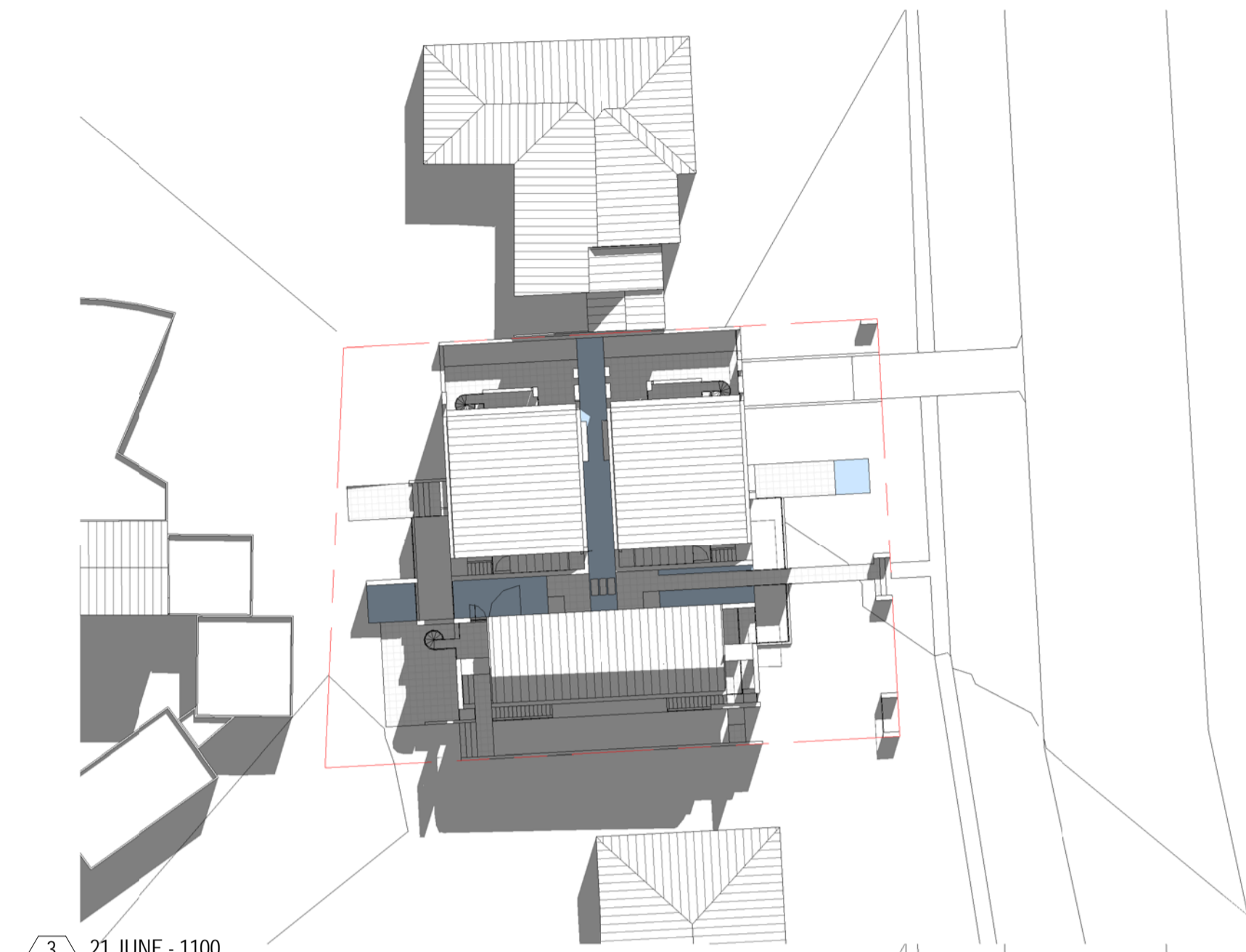
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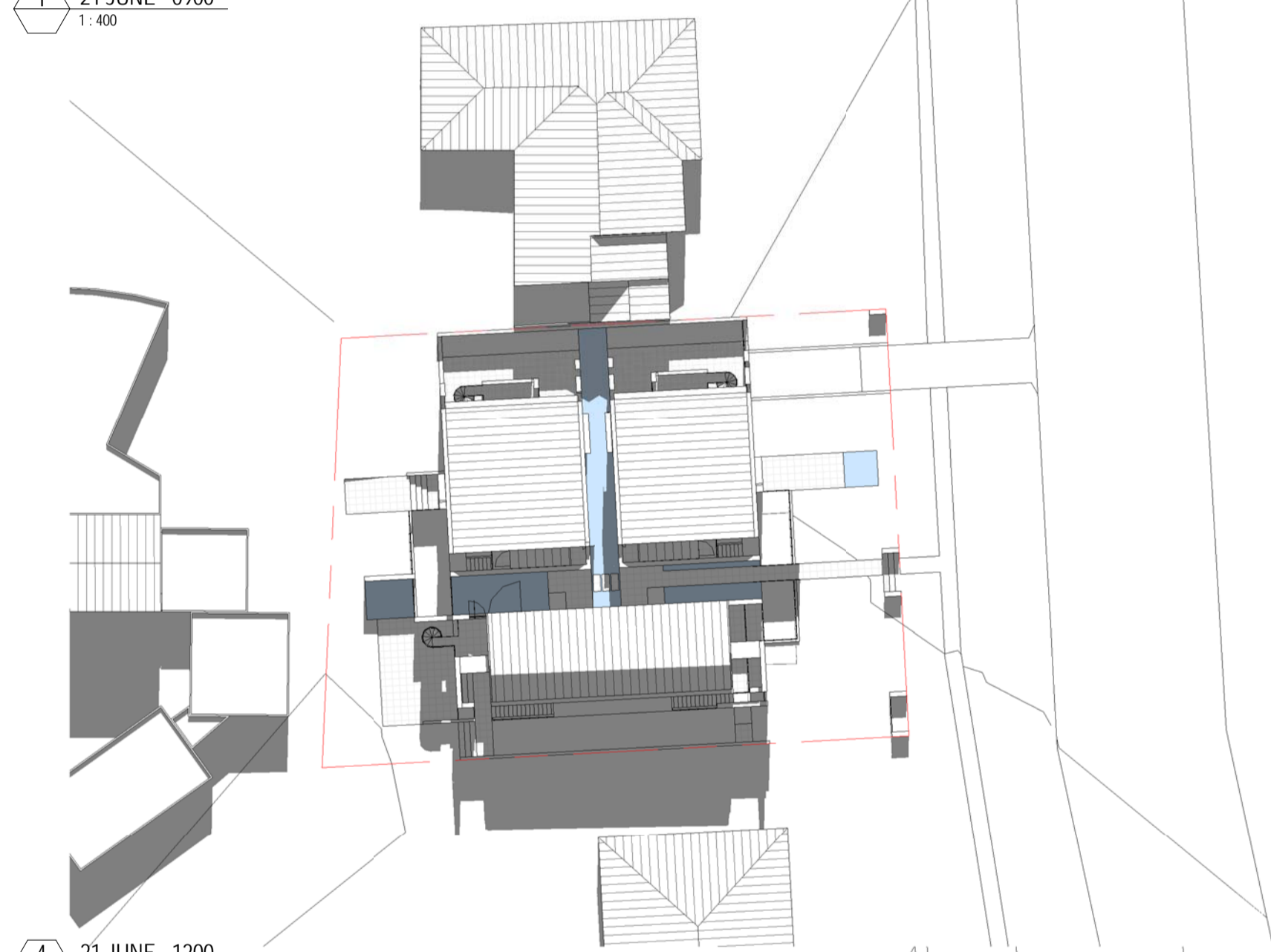
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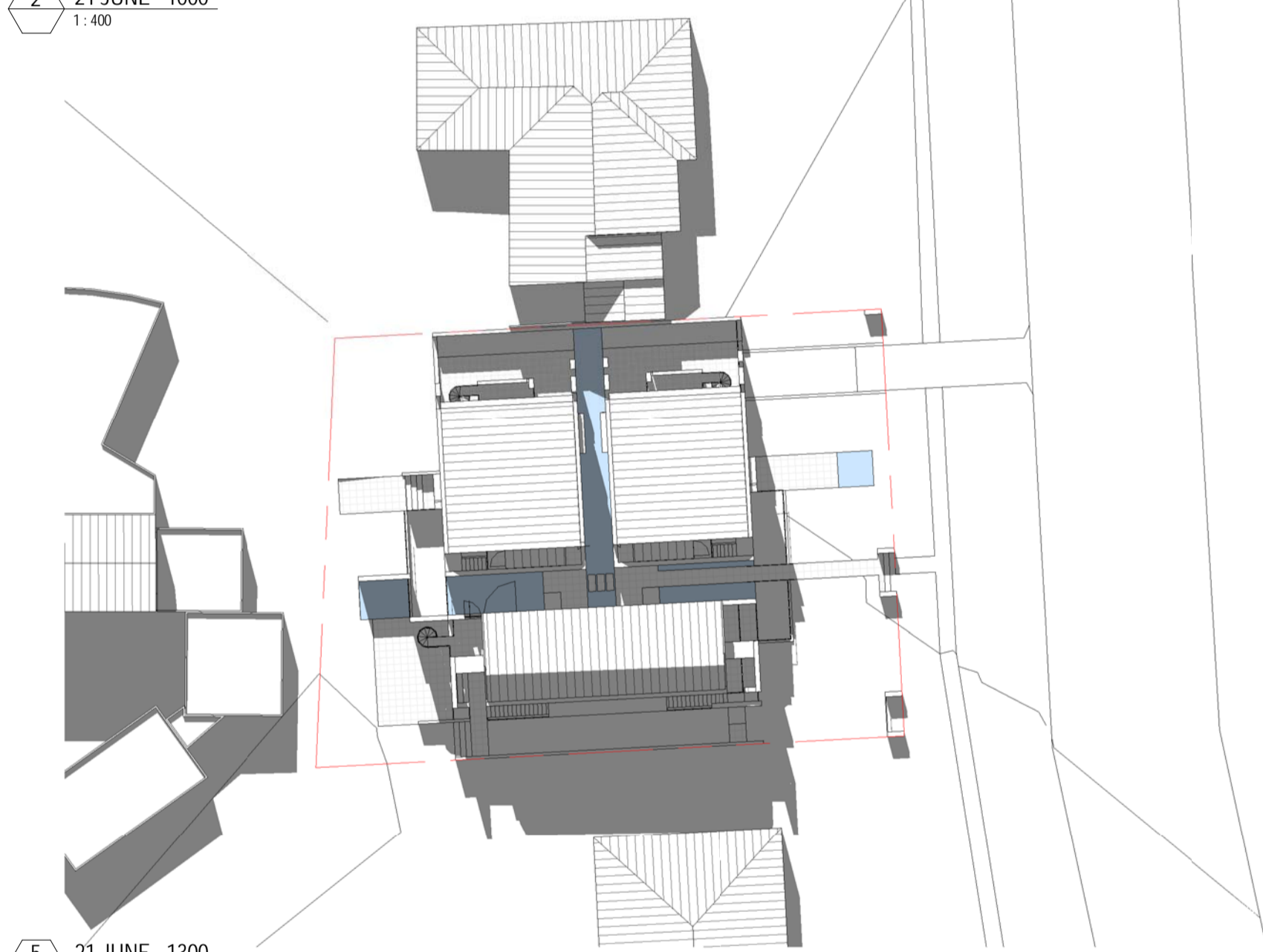
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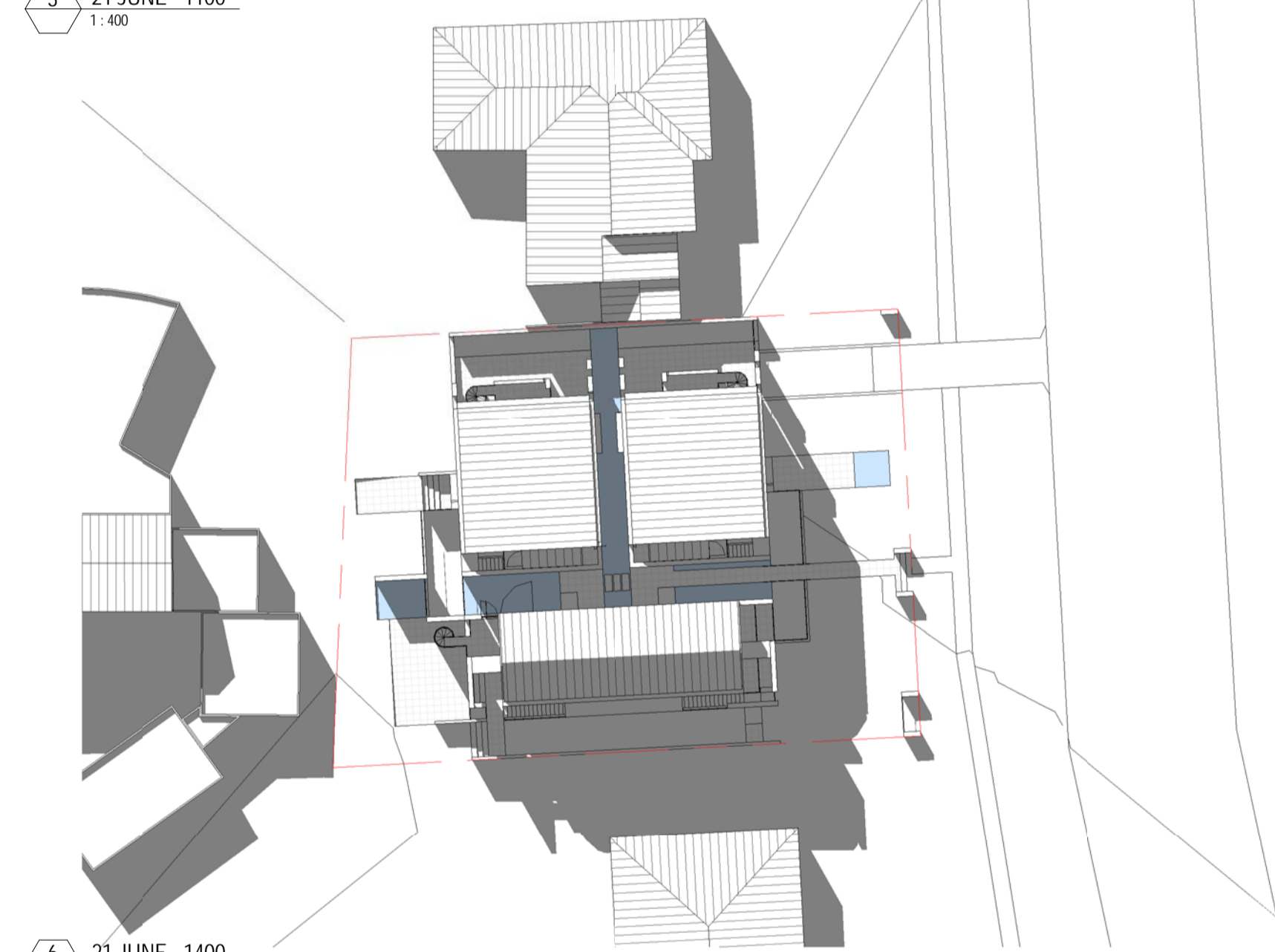
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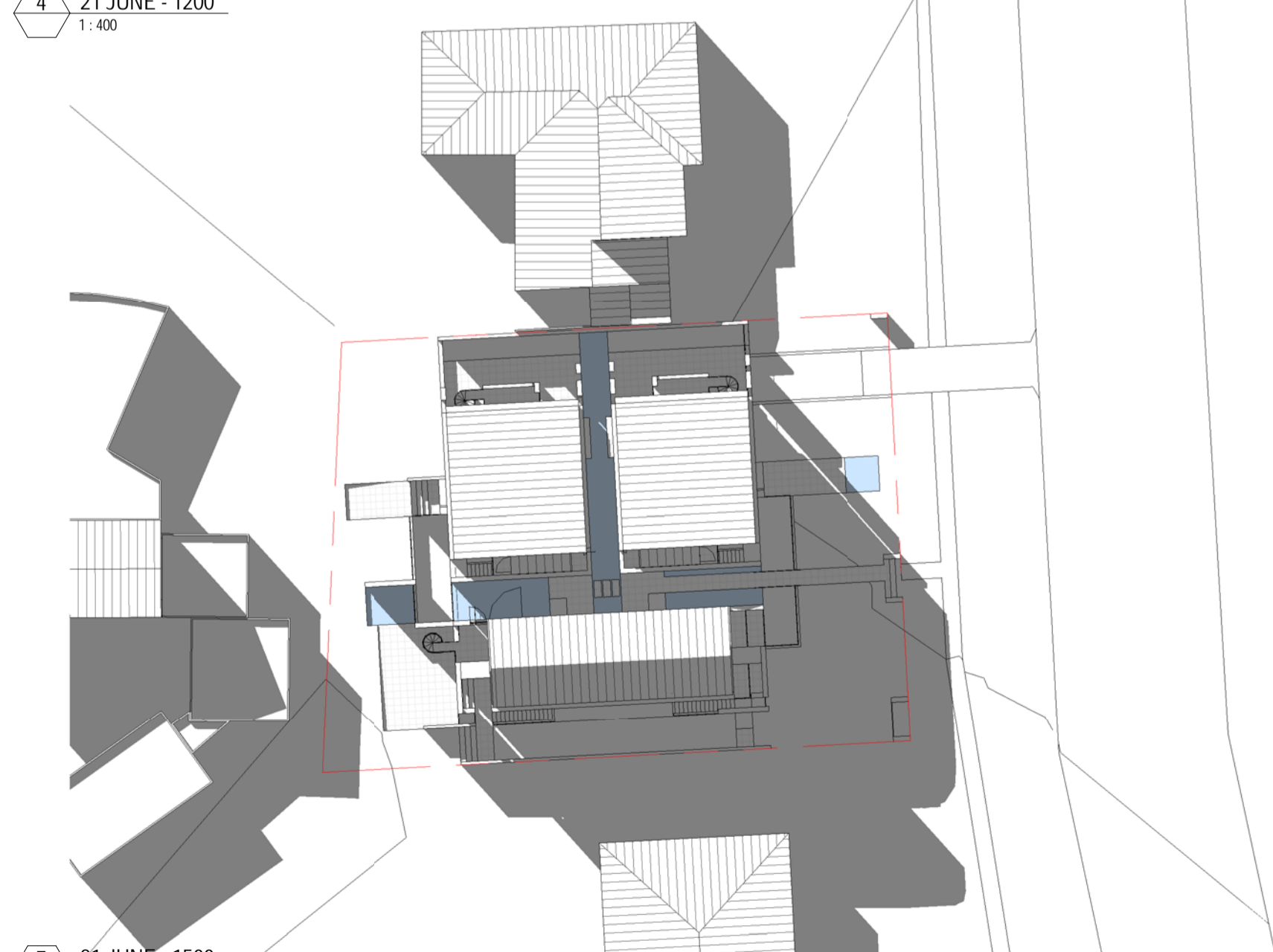
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5 21 JUNE - 1300  
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6 21 JUNE - 1400  
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7 21 JUNE - 1500  
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