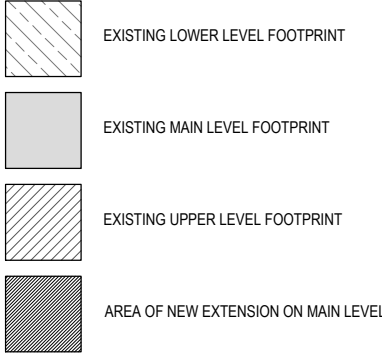


DEMOLITION:
 ALL DEMOLITION WORKS MUST BE UNDERTAKEN IN ACCORDANCE WITH AS2601. THE CONTRACTOR IS REQUIRED TO REMOVE ALL DEMOLISHED MATERIAL TO APPROPRIATE RECYCLING LOCATIONS TO ACT GOVERNMENT REGULATIONS.
 CONSULT STRUCTURAL ENGINEER PRIOR TO ANY DEMOLITION WORKS ON SITE.
 ALL EXISTING FACE BRICKWORK TO BE REMOVED MUST BE CLEANED AND PREPARED FOR RE-USE. STORE ALL SALVAGED BRICKS ON SITE.
 THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ASBESTOS ON SITE. ASBESTOS TO BE REMOVED BY A QUALIFIED ASBESTOS REMOVALIST.
 STOCKPILE SITE TOPSOIL FOR RE-USE IN THE NEW WORKS WHERE POSSIBLE.
 ALL VEGETATION REMOVAL TO BE UNDERTAKEN IN ACCORDANCE WITH THE LANDSCAPE DOCUMENTATION.
 CONTOURS AND LEVELS ARE OBTAINED FROM SURVEY INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LEVELS ON SITE. THE DRAWINGS DO NOT SHOW ANY UNDERGROUND SERVICES ON, OR SURROUNDING THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL UNDERGROUND SERVICES ON THE SITE PRIOR TO COMMENCEMENT OF WORKS.
 IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION OR STORAGE OF MACHINERY/MATERIALS DURING CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF ALL RELEVANT AUTHORITIES. NO CONSTRUCTION MATERIAL IS TO BE STORED ON VERGES OR PUBLIC OPEN SPACES OR UNDER THE DRIPLINE OF RETAINED TREES.
 THE CONTRACTOR IS RESPONSIBLE FOR RECTIFYING ANY DAMAGE TO THE EXISTING DRIVEWAY AND SURROUNDS DURING THE CONSTRUCTION PERIOD.
 DEMOLITION AND WASTE MANAGEMENT FOR THIS DEVELOPMENT TO COMPLY WITH THE CURRENT VERSION OF THE DEVELOPMENT CONTROL CODE FOR BEST PRACTICE WASTE MANAGEMENT IN THE ACT.

GENERAL NOTES:
 CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT CODES OF PRACTICE. IN THE BEST TRADESPERSON LIKE MANNER TO THE APPROVAL OF THE PROJECT MANAGER AND ALL AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - NATIONAL CAPITAL AUTHORITY
 - ACT GOVERNMENT
 - CURRENT BUILDING CODE OF AUSTRALIA
 - ACT ELECTRICITY AND WATER (ACTEW)
 - ALL RELEVANT AUSTRALIAN STANDARDS
 POSITION OF STORMWATER LINES ARE APPROXIMATE ONLY AND MAY VARY TO SUIT SITE CONDITIONS. POSITION OF DOWNPIPES AND STORMWATER LINES TO BE VERIFIED BY BUILDER PRIOR TO COMMENCEMENT OF WORK ON SITE.
 CONTOURS AND DRAINAGE:
 POST DEVELOPMENT CONTOURS AND LEVELS SHOWN ON THE PLAN ARE TAKEN FROM PLANS SUPPLIED AND NO RESPONSIBILITY IS TAKEN FOR SUBSEQUENT CUT/FILL LEVELS.
 SITE SETOUT:
 ALL BOUNDARY CLEARANCES SHOWN ARE TO BE VERIFIED BY THE BUILDER AT SETOUT AND PRIOR TO ANY CONSTRUCTION COMMENCING. BLOCK DIMENSIONS AND LEVELS HAVE BEEN TAKEN FROM INFORMATION PROVIDED AND NO RESPONSIBILITY IS TAKEN FOR THE ACCURACY OF THIS INFORMATION. IT IS RECOMMENDED THAT A LICENCED SURVEYOR BE ENGAGED TO SETOUT THE BUILDING TO ENSURE THAT APPROVED SETBACKS ARE NOT ENCROACHED UPON.
 FOR CONSTRUCTION DETAILS OF TIMBER FRAMEWORK, FOOTINGS AND SLABS REFER TO THE BCA AND RELEVANT CODES AND STANDARDS AS WELL AS STRUCTURAL ENGINEERS DETAILS. TRUSSES TO BE DESIGNED AND INSTALLED TO MANUFACTURERS SPECIFICATIONS AND ENGINEERS SPECIFICATIONS AND DETAILS. ALL FOOTINGS, SLABS, COLUMNS, BEAMS, FLOOR STRUCTURE, BRACING AND ALL OTHER STRUCTURAL ELEMENTS TO BE DESIGNED AND APPROVED BY A QUALIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. NO RESPONSIBILITY IS TAKEN FOR THE DESIGN OF ANY STRUCTURAL ELEMENTS.

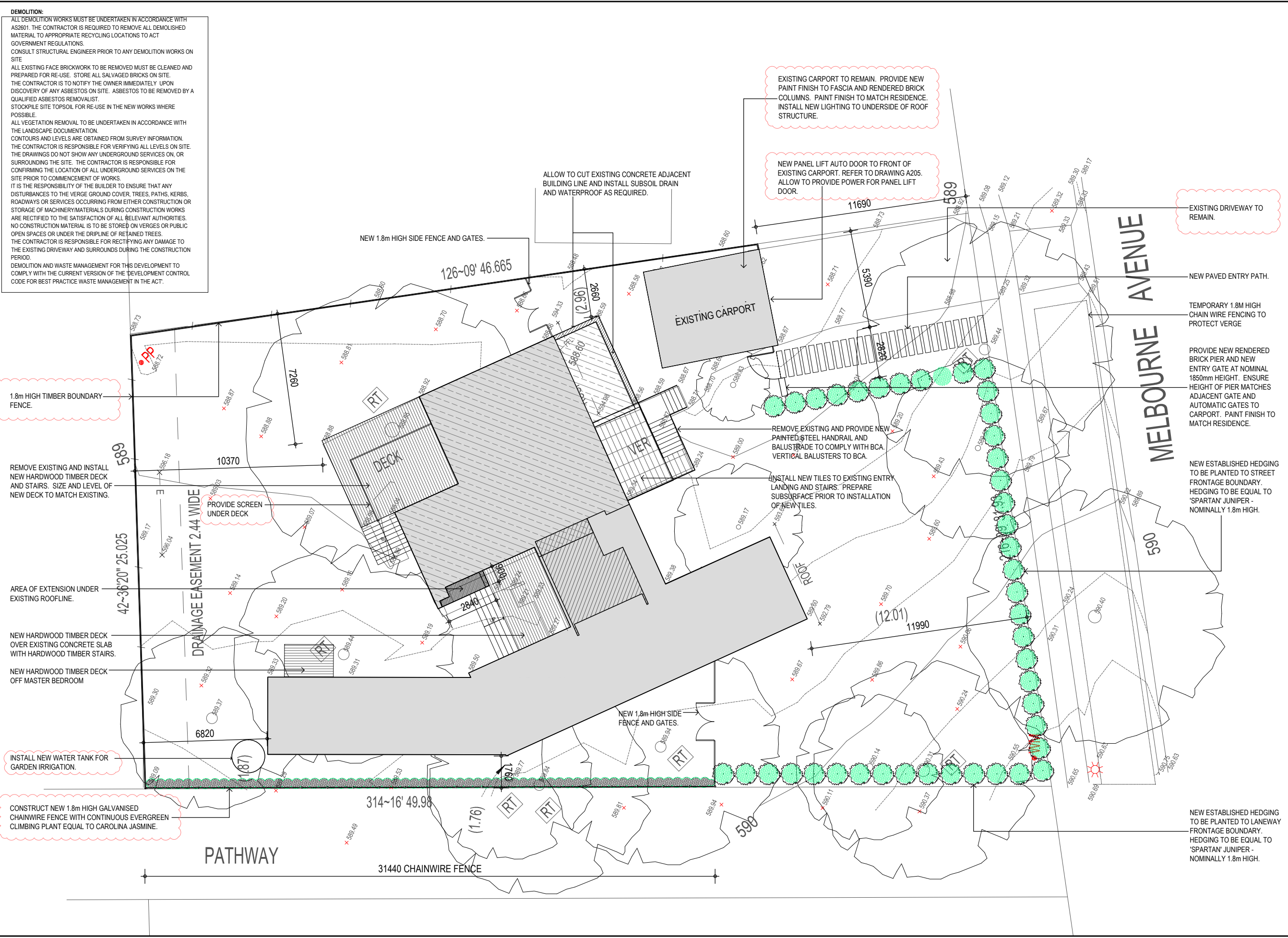
EROSION CONTROL
 THE DEVELOPMENT WILL COMPLY WITH BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES, MARCH 2006



BLOCK DETAILS:
 BLOCK 9 SECTION 2, DEAKIN
 10 MELBOURNE AVENUE
 BLOCK AREA: 1373m²

FLOOR AREAS:

EXISTING LOWER LEVEL AREA: (INCLUDES STORAGE AREAS NOT HABITABLE)	117.1m ²
EXISTING MAIN LEVEL AREA:	272.7m ²
EXISTING UPPER LEVEL AREA:	19.0m ²
PROPOSED NEW EXTENSION AREA:	2.3m ²
TOTAL GFA:	411.1m²
PLOT RATIO:	29.9%



Client
DONALD AND FLORA

Project
10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT

Project No: 1538

Drawing Title
SITE PLAN

Scale
 1:200(A3)

Drawn
 AL&CH

Project Architect
 AL&CH

Project Director
 .

Date
 09.02.16

Drawing Number
A001

Rev
P4

Coord.
 North

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
P2	ISSUE FOR INFORMATION	AL&CH	04.01.16
P3	ISSUE FOR INFORMATION	AL&CH	29.01.16
P4	ISSUE FOR INFORMATION	AL&CH	09.02.16

Notes
 All dimensions are in millimetres. All levels are in metres.
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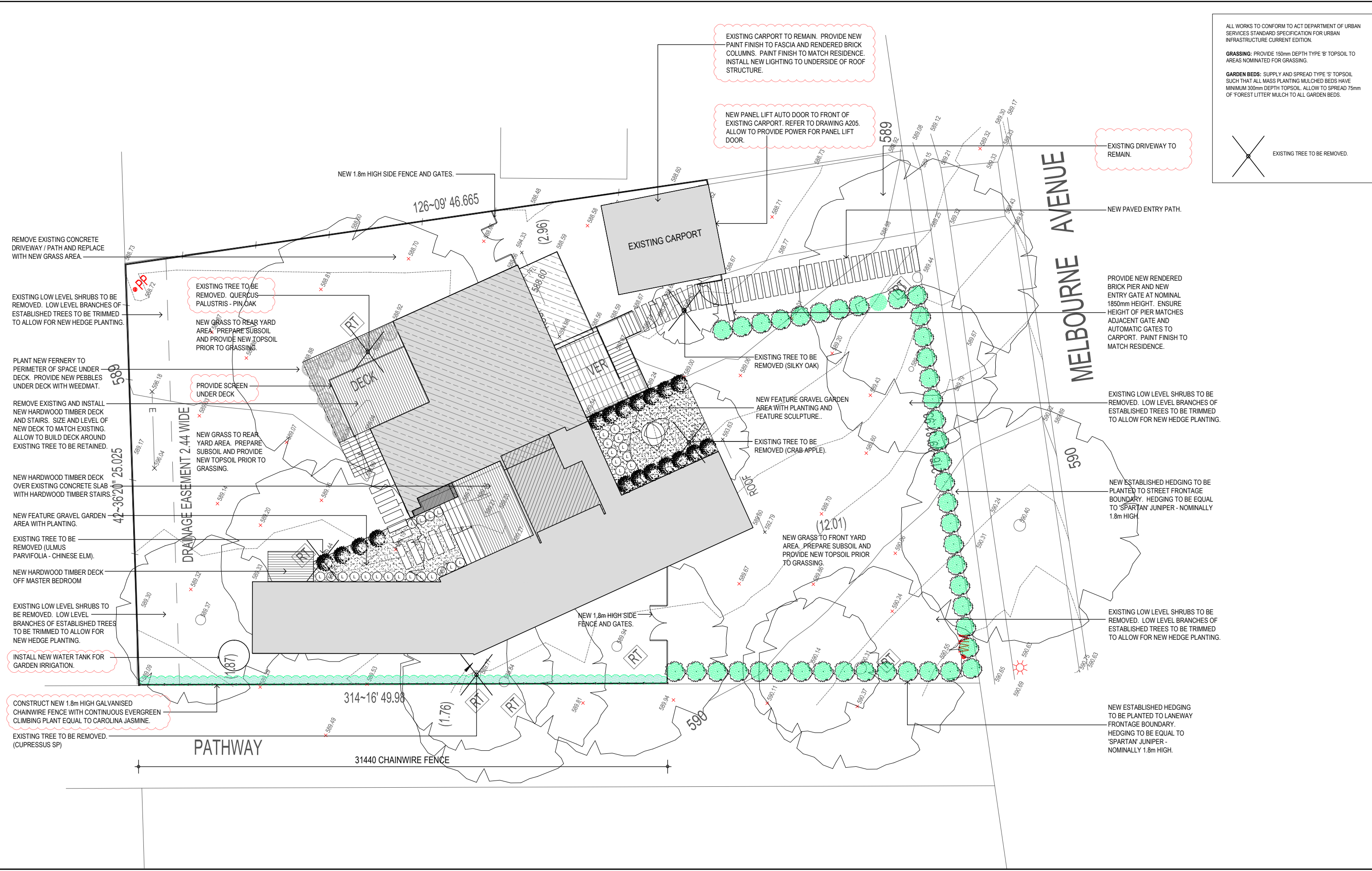
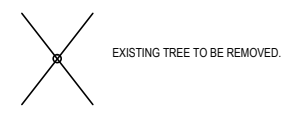
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ALL WORKS TO CONFORM TO ACT DEPARTMENT OF URBAN SERVICES STANDARD SPECIFICATION FOR URBAN INFRASTRUCTURE CURRENT EDITION.

GRASSING: PROVIDE 150mm DEPTH TYPE 'B' TOPSOIL TO AREAS NOMINATED FOR GRASSING.

GARDEN BEDS: SUPPLY AND SPREAD TYPE 'S' TOPSOIL SUCH THAT ALL MASS PLANTING MULCHED BEDS HAVE MINIMUM 300mm DEPTH TOPSOIL. ALLOW TO SPREAD 75mm OF 'FOREST LITTER' MULCH TO ALL GARDEN BEDS.



REMOVE EXISTING CONCRETE DRIVEWAY / PATH AND REPLACE WITH NEW GRASS AREA.

EXISTING LOW LEVEL SHRUBS TO BE REMOVED. LOW LEVEL BRANCHES OF ESTABLISHED TREES TO BE TRIMMED TO ALLOW FOR NEW HEDGE PLANTING.

PLANT NEW FERNERY TO PERIMETER OF SPACE UNDER DECK. PROVIDE NEW PEBBLES UNDER DECK WITH WEEDMAT.

REMOVE EXISTING AND INSTALL NEW HARDWOOD TIMBER DECK AND STAIRS. SIZE AND LEVEL OF NEW DECK TO MATCH EXISTING. ALLOW TO BUILD DECK AROUND EXISTING TREE TO BE RETAINED.

NEW HARDWOOD TIMBER DECK OVER EXISTING CONCRETE SLAB WITH HARDWOOD TIMBER STAIRS.

NEW FEATURE GRAVEL GARDEN AREA WITH PLANTING.

EXISTING TREE TO BE REMOVED (ULMUS PARVIFOLIA - CHINESE ELM).

NEW HARDWOOD TIMBER DECK OFF MASTER BEDROOM.

EXISTING LOW LEVEL SHRUBS TO BE REMOVED. LOW LEVEL BRANCHES OF ESTABLISHED TREES TO BE TRIMMED TO ALLOW FOR NEW HEDGE PLANTING.

INSTALL NEW WATER TANK FOR GARDEN IRRIGATION.

CONSTRUCT NEW 1.8m HIGH GALVANISED CHAINWIRE FENCE WITH CONTINUOUS EVERGREEN CLIMBING PLANT EQUAL TO CAROLINA JASMINE.

EXISTING TREE TO BE REMOVED. (CUPRESSUS SP)

EXISTING CARPORT TO REMAIN. PROVIDE NEW PAINT FINISH TO FASCIA AND RENDERED BRICK COLUMNS. PAINT FINISH TO MATCH RESIDENCE. INSTALL NEW LIGHTING TO UNDERSIDE OF ROOF STRUCTURE.

NEW PANEL LIFT AUTO DOOR TO FRONT OF EXISTING CARPORT. REFER TO DRAWING A205. ALLOW TO PROVIDE POWER FOR PANEL LIFT DOOR.

EXISTING DRIVEWAY TO REMAIN.

NEW PAVED ENTRY PATH.

PROVIDE NEW RENDERED BRICK PIER AND NEW ENTRY GATE AT NOMINAL 1850mm HEIGHT. ENSURE HEIGHT OF PIER MATCHES ADJACENT GATE AND AUTOMATIC GATES TO CARPORT. PAINT FINISH TO MATCH RESIDENCE.

EXISTING LOW LEVEL SHRUBS TO BE REMOVED. LOW LEVEL BRANCHES OF ESTABLISHED TREES TO BE TRIMMED TO ALLOW FOR NEW HEDGE PLANTING.

NEW ESTABLISHED HEDGING TO BE PLANTED TO STREET FRONTAGE BOUNDARY. HEDGING TO BE EQUAL TO 'SPARTAN' JUNIPER - NOMINALLY 1.8m HIGH.

EXISTING LOW LEVEL SHRUBS TO BE REMOVED. LOW LEVEL BRANCHES OF ESTABLISHED TREES TO BE TRIMMED TO ALLOW FOR NEW HEDGE PLANTING.

NEW ESTABLISHED HEDGING TO BE PLANTED TO LANEWAY FRONTAGE BOUNDARY. HEDGING TO BE EQUAL TO 'SPARTAN' JUNIPER - NOMINALLY 1.8m HIGH.

Client
DONALD AND FLORA

Project
10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT

Project No: 1538

Drawing Title
INDICATIVE LANDSCAPE PLAN

Scale
1:200(A3)

Drawn
AL&CH

Project Architect
AL&CH

Project Director

Date
09.02.16

Drawing Number
Rev
A002 P4

Coord.
Reviewed

Verified

Approved

North

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
P2	ISSUE FOR INFORMATION	AL&CH	04.01.16
P3	ISSUE FOR INFORMATION	AL&CH	29.01.16
P4	ISSUE FOR INFORMATION	AL&CH	09.02.16

Notes

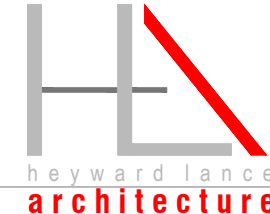
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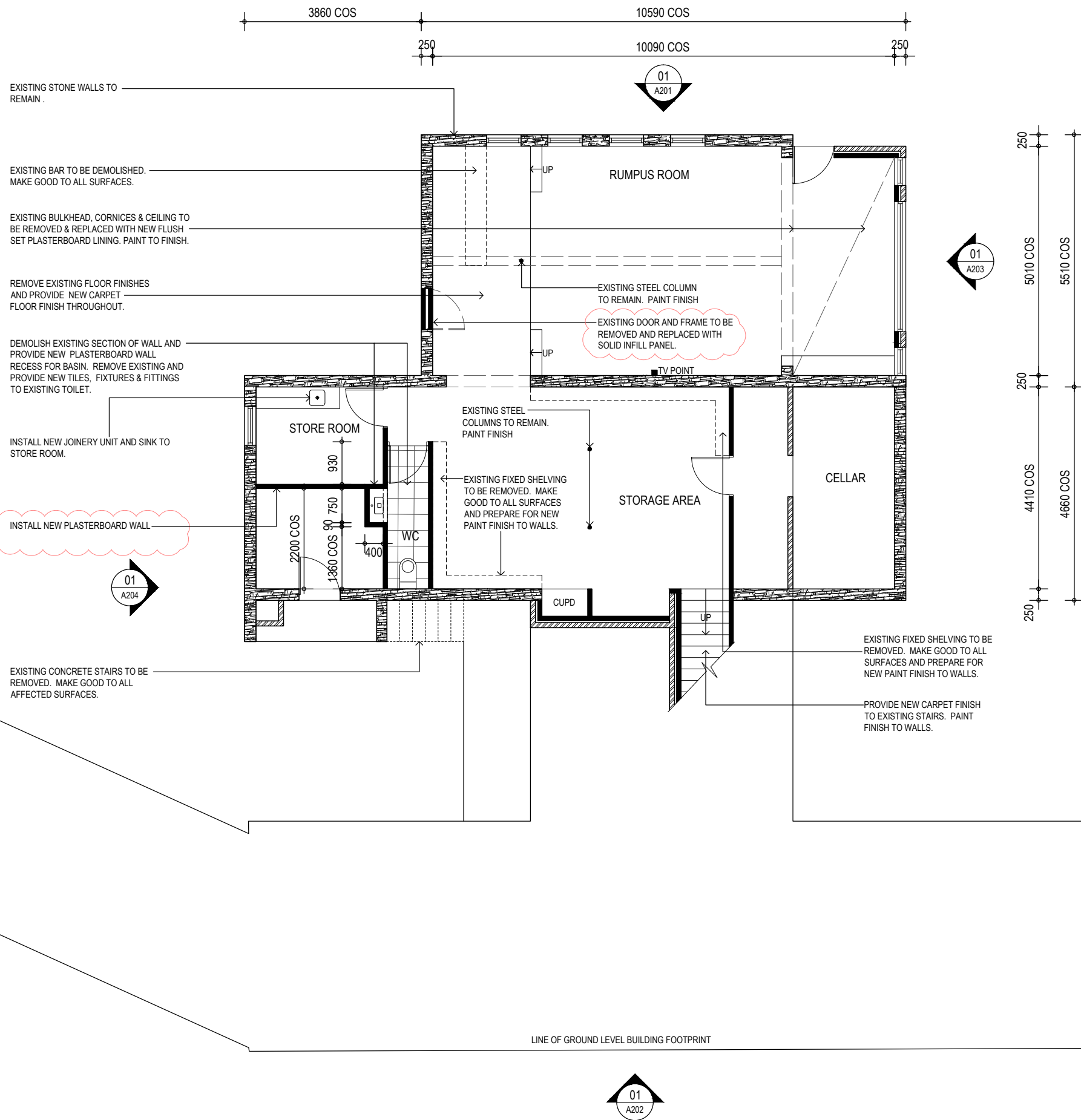
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DEMOLITION NOTES:

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CONSULT STRUCTURAL ENGINEER PRIOR TO ANY DEMOLITION WORKS ON SITE

ALL EXISTING FACE BRICKWORK TO BE REMOVED MUST BE CLEANED AND PREPARED FOR RE-USE. STORE ALL SALVAGED BRICKS ON SITE.

THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ASBESTOS ON SITE. ASBESTOS TO BE REMOVED BY A QUALIFIED ASBESTOS REMOVALIST.

STOCKPILE SITE TOPSOIL FOR RE-USE IN THE NEW WORKS WHERE POSSIBLE.

ALL VEGETATION REMOVAL TO BE UNDERTAKEN IN ACCORDANCE WITH THE LANDSCAPE DOCUMENTATION.

GENERAL NOTES:

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870.1-1996. ALL NEW STRUCTURAL COMPONENTS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS DETAILS.

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660-2000 PARTS 1,2 AND 3

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684 AND THE BCA

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786. WIRING TO AS3000

ALL INSULATION TO COMPLY WITH ENERGY RATING REPORT.

WINDOWS TO COMPLY WITH ENERGY RATING REQUIREMENTS AND TO COMPLY WITH ALL RELEVANT WINDOW CODES AND STANDARDS.

ALL FIRE RATED SEPARATION MUST BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARDS. ALL FIRE RATING CONSTRUCTION MUST BE CERTIFIED BY A QUALIFIED PROFESSIONAL.

ALL SIZES AND DIMENSIONS HAVE BEEN TAKEN FROM INFORMATION PROVIDED AND NO RESPONSIBILITY IS TAKEN FOR THE SIZE AND DIMENSION OF EXISTING ELEMENTS. THE CONTRACTOR IS TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

SPECIFIC NOTES:

IN ADDITION TO NOTES ON THE DRAWINGS, THE LOWER LEVEL SCOPE OF WORKS INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING:

- FULL EXTENT OF EXISTING LIGHTING TO BE REMOVED IN THE RUMPUS ROOM, STORAGE AREA, STORE ROOM, WC, CELLAR AND STAIRWAY AND REPLACE WITH NEW LED LIGHTING THROUGHOUT. ALL ELECTRICAL WORK TO BE UNDERTAKEN BY A QUALIFIED PROFESSIONAL AND IN ACCORDANCE WITH ALL RELEVANT CODES AND AUSTRALIAN STANDARDS.
- FULL EXTENT OF EXISTING WALLS AND CEILINGS IN THE RUMPUS ROOM, STORAGE AREA, STORE ROOM, WC, CELLAR AND STAIRWAY TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH THROUGHOUT. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF LOWER LEVEL INTERNAL WORKS INCLUDING ALL PLASTERBOARD / RENDERED WALLS, CEILINGS, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.
- FULL EXTENT OF THE EXTERNAL PERIMETER OF THE LOWER FLOOR LEVEL TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF GROUND LEVEL EXTERNAL RENDERED WALLS, EAVES, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.
- EXISTING EXPOSED STONE WALLS TO BE PROTECTED AND RETAINED DURING THE WORKS.
- REMOVE FULL EXTENT OF EXISTING FLOOR FINISHES TO RUMPUS ROOM, STORAGE AREA, STORE ROOM, CELLAR AND STAIRWAY AND PREPARE SUBSURFACE FOR NEW CARPET THROUGHOUT.

NOTE: IN ADDITION TO NOTED WATER LEAKING, THE CONTRACTOR IS TO UNDERTAKE A FULL INSPECTION OF ALL WATER LEAKAGE TO THE EXISTING BUILDING AND PROVIDE ADVICE ON RECTIFICATION MEASURES TO WATER LEAKING.

Client
DONALD AND FLORA

Project
10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT

Project No: 1538

Drawing Title
LOWER LEVEL FLOOR PLAN

Scale
1:100(A3)

Drawn
AL&CH

Project Architect
AL&CH

Project Director

Date
29.01.16

Drawing Number
A101

Rev
P4

Coord.
Reviewed
Verified
Approved

North

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	02.12.15
P2	ISSUE FOR INFORMATION	AL&CH	18.12.15
P3	ISSUE FOR INFORMATION	AL&CH	04.01.16
P4	ISSUE FOR INFORMATION	AL&CH	29.01.16

Notes
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GUTTERS:

ALL EXISTING GUTTERS TO BE REMOVED AND REPLACED WITH NEW TO MATCH EXISTING, PROVIDE LEAF GUARD TO ALL GUTTERS.

NOTE: IN ADDITION TO NOTED WATER LEAKING, THE CONTRACTOR IS TO UNDERTAKE A FULL INSPECTION OF ALL WATER LEAKAGE TO THE EXISTING BUILDING AND PROVIDE ADVICE ON RECTIFICATION MEASURES TO WATER LEAKING.

DEMOLITION NOTES:

DEMOLITION:
ALL DEMOLITION WORKS MUST BE UNDERTAKEN IN ACCORDANCE WITH AS2601. THE CONTRACTOR IS REQUIRED TO REMOVE ALL DEMOLISHED MATERIAL TO APPROPRIATE RECYCLING LOCATIONS TO ACT GOVERNMENT REGULATIONS.

CONSULT STRUCTURAL ENGINEER PRIOR TO ANY DEMOLITION WORKS ON SITE

ALL EXISTING FACE BRICKWORK TO BE REMOVED MUST BE CLEANED AND PREPARED FOR RE-USE. STORE ALL SALVAGED BRICKS ON SITE.

THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ASBESTOS ON SITE. ASBESTOS TO BE REMOVED BY A QUALIFIED ASBESTOS REMOVALIST.

STOCKPILE SITE TOPSOIL FOR RE-USE IN THE NEW WORKS WHERE POSSIBLE.

ALL VEGETATION REMOVAL TO BE UNDERTAKEN IN ACCORDANCE WITH THE LANDSCAPE DOCUMENTATION.

GENERAL NOTES:

ALL CONCRETE SLABS AND FOOTINGS SHALL BE DETERMINED BY SITE CLASSIFICATION AND AS2870:1-1996. ALL NEW STRUCTURAL COMPONENTS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE STRUCTURAL ENGINEERS DETAILS.

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660-2000 PARTS 1,2 AND 3

ALL TIMBER FRAMING AND CONSTRUCTION MUST COMPLY WITH THE CURRENT VERSION OF THE TIMBER FRAMING CODE AS1684 AND THE BCA

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786 WIRING TO AS3000

ALL INSULATION TO COMPLY WITH ENERGY RATING REPORT.

WINDOWS TO COMPLY WITH ENERGY RATING REQUIREMENTS AND TO COMPLY WITH ALL RELEVANT WINDOW CODES AND STANDARDS.

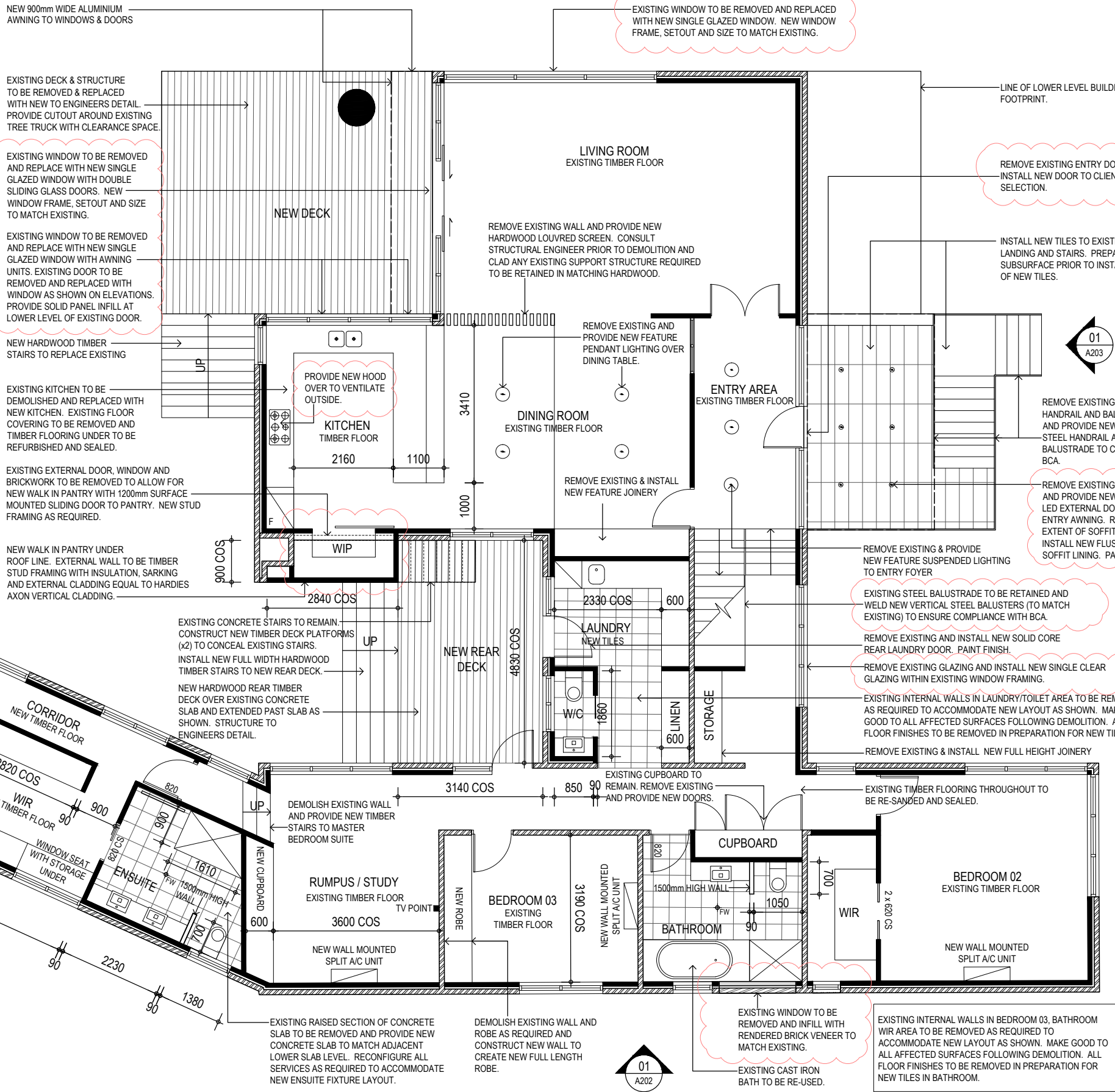
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ALL SIZES AND DIMENSIONS HAVE BEEN TAKEN FROM INFORMATION PROVIDED AND NO RESPONSIBILITY IS TAKEN FOR THE SIZE AND DIMENSION OF EXISTING ELEMENTS. THE CONTRACTOR IS TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

SPECIFIC NOTES:

IN ADDITION TO NOTES ON THE DRAWINGS, THE MAIN LEVEL SCOPE OF WORKS INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING:

- FULL EXTENT OF EXISTING LIGHTING TO BE REMOVED TO ALL ROOMS AND REPLACED WITH NEW LED LIGHTING THROUGHOUT. ALL ROOMS TO INCLUDE NEW RECESSED LED DOWNLIGHTS EXCEPT THE ENTRY AREA AND DINING ROOM WHERE SUSPENDED LED LIGHTING IS REQUIRED. ALL ELECTRICAL WORK TO BE UNDERTAKEN BY A QUALIFIED PROFESSIONAL AND IN ACCORDANCE WITH ALL RELEVANT CODES AND AUSTRALIAN STANDARDS.
- FULL EXTENT OF EXISTING WALLS THROUGHOUT TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH THROUGHOUT. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF MAIN LEVEL INTERNAL WORKS INCLUDING ALL PLASTERBOARD / RENDERED WALLS, CEILINGS, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.
- FULL EXTENT OF EXISTING CEILINGS IN THE MASTER BEDROOM, WIR, ENSUITE AND CORRIDOR, LIVING ROOM, DINING ROOM AND ENTRY AREA TO BE REMOVED AND REPLACED WITH NEW. ALL CORNICES AND SKIRTINGS IN THIS AREA TO MATCH THE ORIGINAL HOUSE CORNICES AND SKIRTINGS. INSTALL NEW CEILING INSULATION TO THESE AREAS.
- FULL EXTENT OF EXISTING FLOOR COVERINGS IN THE MASTER BEDROOM, WIR, ENSUITE AND CORRIDOR AREA TO BE REMOVED AND REPLACED WITH NEW TIMBER FLOORING TO MATCH THE EXISTING RESIDENCE. NEW TILES TO THE ENSUITE.
- EXISTING FLOOR COVERINGS OVER THE EXISTING TIMBER FLOORING (SUCH AS CARPETS ETC) TO BE REMOVED AND THE EXISTING TIMBER FLOOR TO BE REFINISHED AND SEALED.
- FULL EXTENT OF THE EXTERNAL PERIMETER OF THE MAIN FLOOR LEVEL TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF GROUND LEVEL EXTERNAL RENDERED WALLS, EAVES, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.
- EXISTING EXPOSED STONE WALLS TO BE PROTECTED AND RETAINED DURING THE WORKS.



Client
DONALD AND FLORA

Project
10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT

Project No: 1538

Drawing Title
MAIN LEVEL FLOOR PLAN

Scale
1:100(A3)

Drawn
AL&CH

Project Architect
AL&CH

Project Director
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Date
29.01.16

Drawing Number
Rev

A102 P4

Coord.
Reviewed
Verified
Approved
North

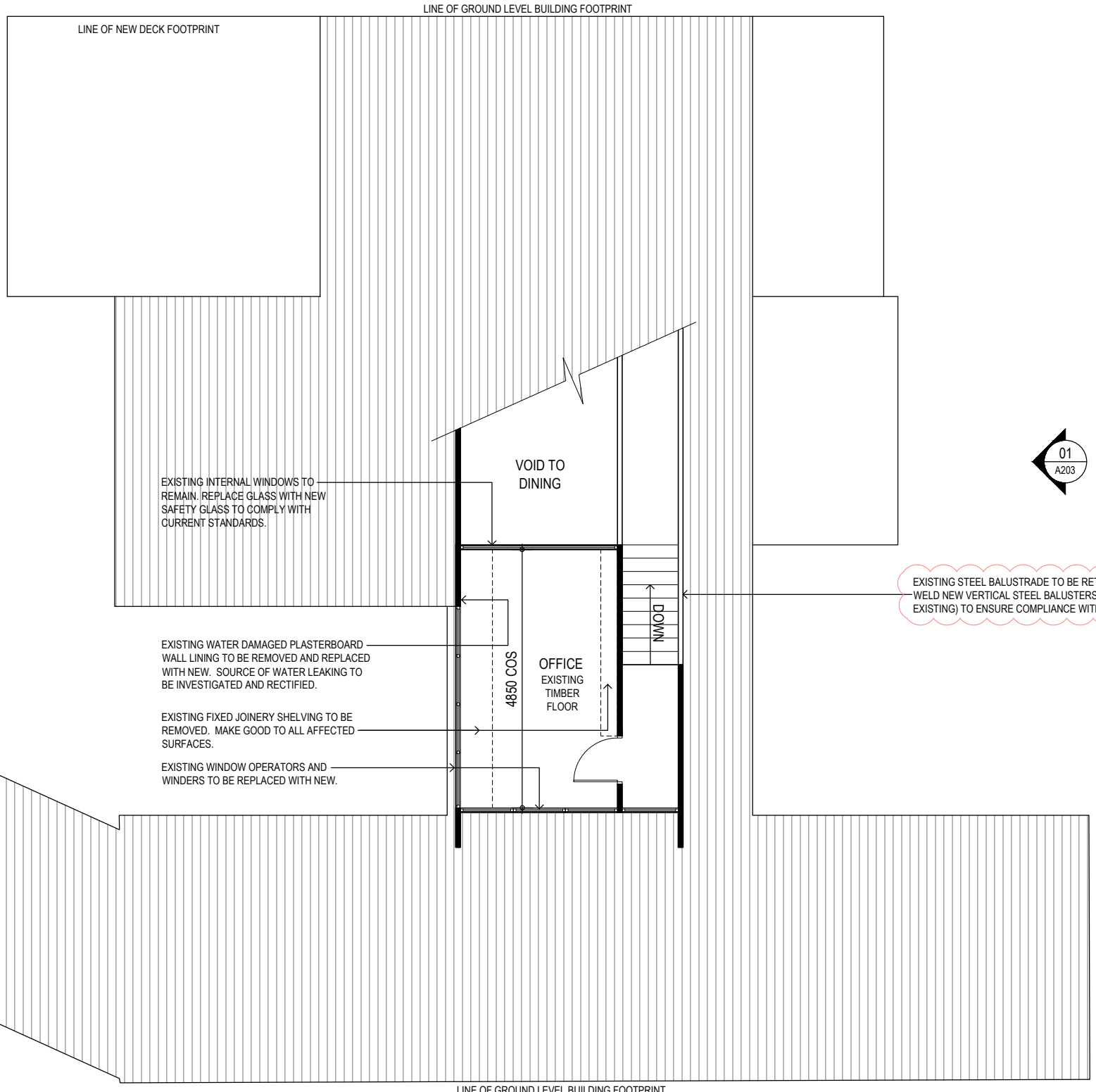
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01
A201



01
A204

01
A203

01
A202

NOTE: IN ADDITION TO NOTED WATER LEAKING, THE CONTRACTOR IS TO UNDERTAKE A FULL INSPECTION OF ALL WATER LEAKAGE TO THE EXISTING BUILDING AND PROVIDE ADVICE ON RECTIFICATION MEASURES TO WATER LEAKING.

DEMOLITION NOTES:

DEMOLITION:
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THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY UPON DISCOVERY OF ANY ASBESTOS ON SITE. ASBESTOS TO BE REMOVED BY A QUALIFIED ASBESTOS REMOVALIST.

STOCKPILE SITE TOPSOIL FOR RE-USE IN THE NEW WORKS WHERE POSSIBLE.

ALL VEGETATION REMOVAL TO BE UNDERTAKEN IN ACCORDANCE WITH THE LANDSCAPE DOCUMENTATION.

GENERAL NOTES:

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PROVIDE SMOKE ALARMS IN ACCORDANCE WITH PART 3.7.2 OF THE BCA AND AS3786.WIRING TO AS3000

ALL INSULATION TO COMPLY WITH ENERGY RATING REPORT.

WINDOWS TO COMPLY WITH ENERGY RATING REQUIREMENTS AND TO COMPLY WITH ALL RELEVANT WINDOW CODES AND STANDARDS.

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SPECIFIC NOTES:

IN ADDITION TO NOTES ON THE DRAWINGS, THE UPPER LEVEL SCOPE OF WORKS INCLUDES (BUT IS NOT LIMITED TO) THE FOLLOWING:

- FULL EXTENT OF EXISTING LIGHTING TO BE REMOVED TO THE OFFICE AND STAIRWAY / CORRIDOR AND REPLACED WITH NEW LED LIGHTING THROUGHOUT. ALL ROOMS TO INCLUDE NEW RECESSED LED DOWNLIGHTS. ALL ELECTRICAL WORK TO BE UNDERTAKEN BY A QUALIFIED PROFESSIONAL AND IN ACCORDANCE WITH ALL RELEVANT CODES AND AUSTRALIAN STANDARDS.
- FULL EXTENT OF EXISTING WALLS THROUGHOUT TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH THROUGHOUT. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF UPPER LEVEL INTERNAL WORKS INCLUDING ALL PLASTERBOARD / RENDERED WALLS, CEILINGS, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.
- FULL EXTENT OF EXISTING CEILINGS IN THE OFFICE AND CORRIDOR / STAIRWAY TO BE REMOVED AND REPLACED WITH NEW. INSTALL NEW CEILING INSULATION. ALL CORNICES AND SKIRTINGS IN THIS AREA TO MATCH THE ORIGINAL HOUSE CORNICES AND SKIRTINGS. INSTALL NEW CEILING INSULATION TO THESE AREAS.
- EXISTING TIMBER FLOORING TO BE REFURBISHED AND SEALED IN OFFICE, STAIRWAY AND CORRIDOR.
- FULL EXTENT OF THE EXTERNAL PERIMETER OF THE UPPER FLOOR LEVEL TO BE REPAIRED, MADE GOOD AND PREPARED FOR NEW PAINT FINISH. PROVIDE NEW PAINT FINISH TO FULL EXTENT OF UPPER LEVEL EXTERNAL LIGHTWEIGHT CLAD WALLS, EAVES, DOORS, DOOR FRAMES, WINDOW FRAMES, COLUMNS AND THE LIKE.

Client
DONALD AND FLORA

Project
10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT

Project No: 1538

Drawing Title
UPPER LEVEL FLOOR PLAN

Scale
1:100(A3)

Drawn
AL&CH

Project Architect
AL&CH

Project Director
.

Date
29.01.16

Drawing Number
A103

Rev
P4

Coord.
Reviewed
Verified
Approved

North

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	02.12.15
P2	ISSUE FOR INFORMATION	AL&CH	18.12.15
P3	ISSUE FOR INFORMATION	AL&CH	04.01.16
P4	ISSUE FOR INFORMATION	AL&CH	29.01.16

Notes
All dimensions are in millimetres. All levels are in metres.
Do not scale off drawing. All structure to engineers specification.
All dimensions, levels and site conditions must be verified by contractor prior to commencement of any work.

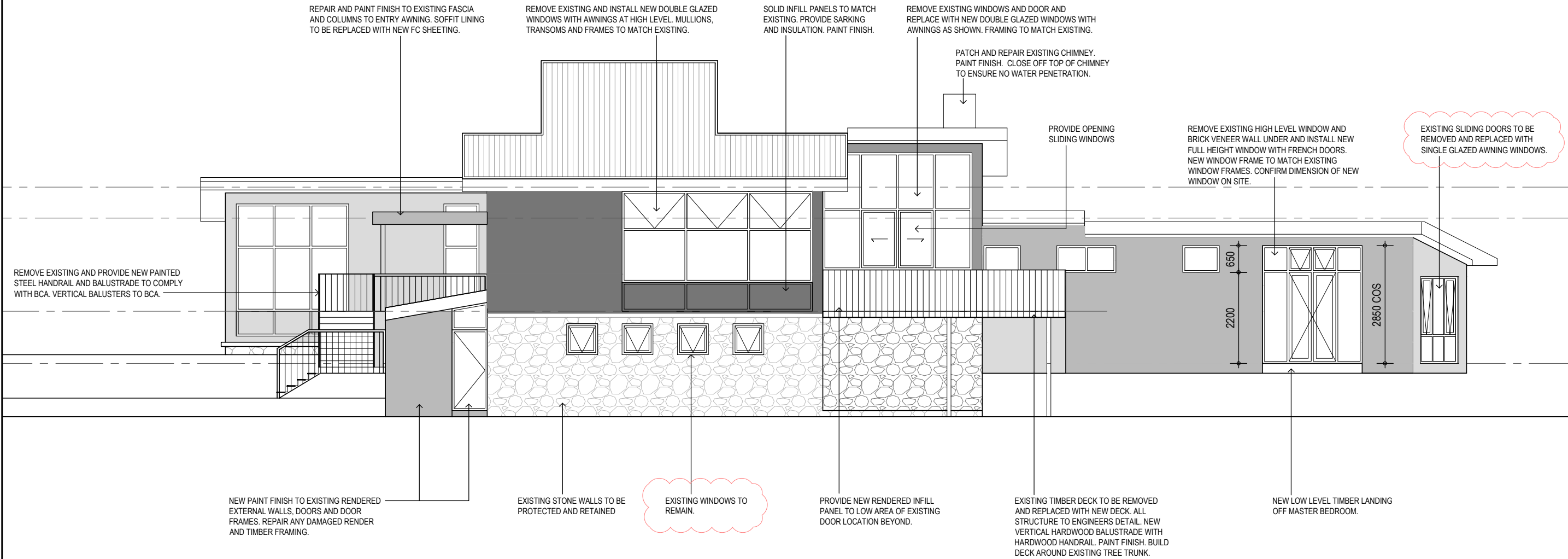
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- ② ALL GUTTERS TO BE REMOVED AND REPLACED WITH NEW TO MATCH EXISTING. PROVIDE LEAF GUARD TO ALL NEW GUTTER.
- ③ ALL WINDOWS TO BE REPLACED MUST BE MEASURED ON SITE PRIOR TO MANUFACTURE AND SHOP DRAWINGS MUST BE PROVIDED FOR APPROVAL PRIOR TO MANUFACTURE.



01

NORTH-EAST ELEVATION

Client DONALD AND FLORA
Project 10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT
Project No: 1538

Drawing Title ELEVATIONS - SHEET 01
Scale 1:100(A3)
Drawn AL&CH

Project Architect AL&CH	Coord. North
Project Director .	Reviewed
Date 29.01.16	Verified
Drawing Number Rev	Approved
A201 P3	

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
P2	ISSUE FOR INFORMATION	AL&CH	04.01.16
P3	ISSUE FOR INFORMATION	AL&CH	29.01.16

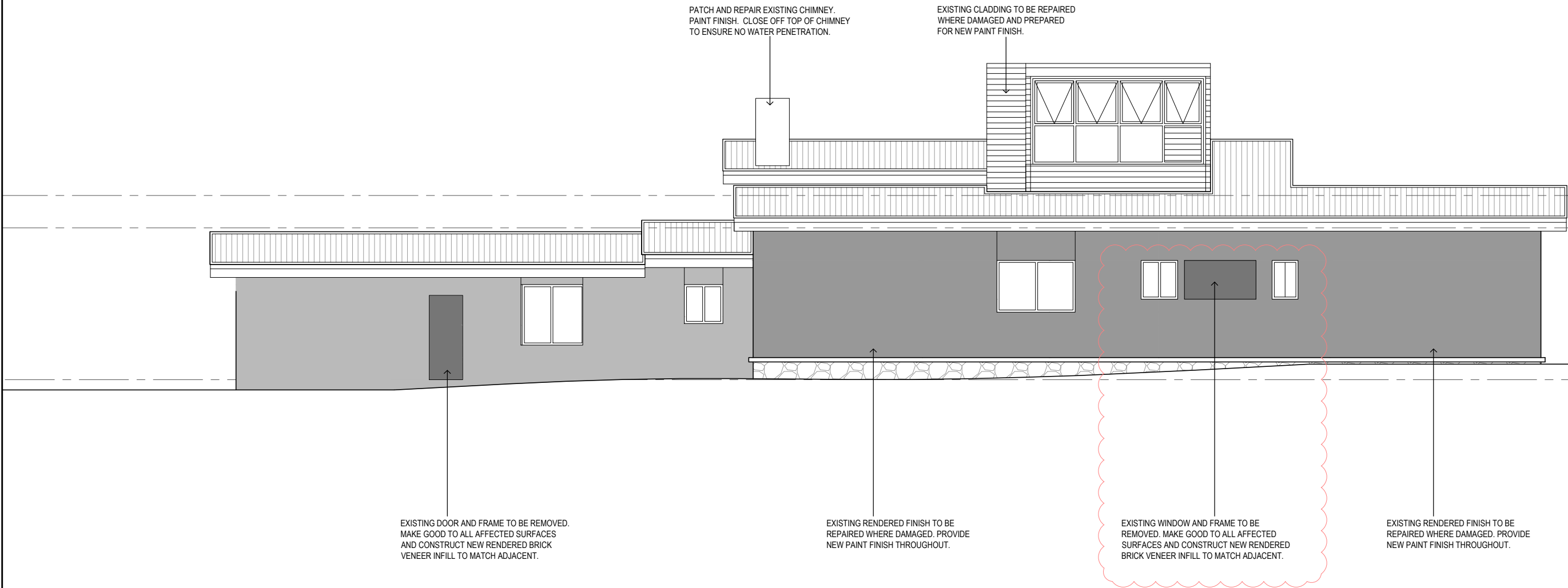
Notes: All dimensions are in millimetres. All levels are in metres. Do not scale off drawing. All structure to engineers specification. All dimensions, levels and site conditions must be verified by contractor prior to commencement of any work. All work must be carried out in accordance with the current edition of the Building Code of Australia and all relevant Australian Standards.

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- ② ALL GUTTERS TO BE REMOVED AND REPLACED WITH NEW TO MATCH EXISTING. PROVIDE LEAF GUARD TO ALL NEW GUTTER.
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01 SOUTH-WEST ELEVATION

Client DONALD AND FLORA
Project 10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT
Project No: 1538

Drawing Title ELEVATIONS - SHEET 02
Scale 1:100(A3)
Drawn AL&CH

Project Architect AL&CH	Coord. Reviewed
Project Director .	Verified
Date 29.01.16	Approved
Drawing Number Rev	North
A202	P3

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
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P3	ISSUE FOR INFORMATION	AL&CH	29.01.16

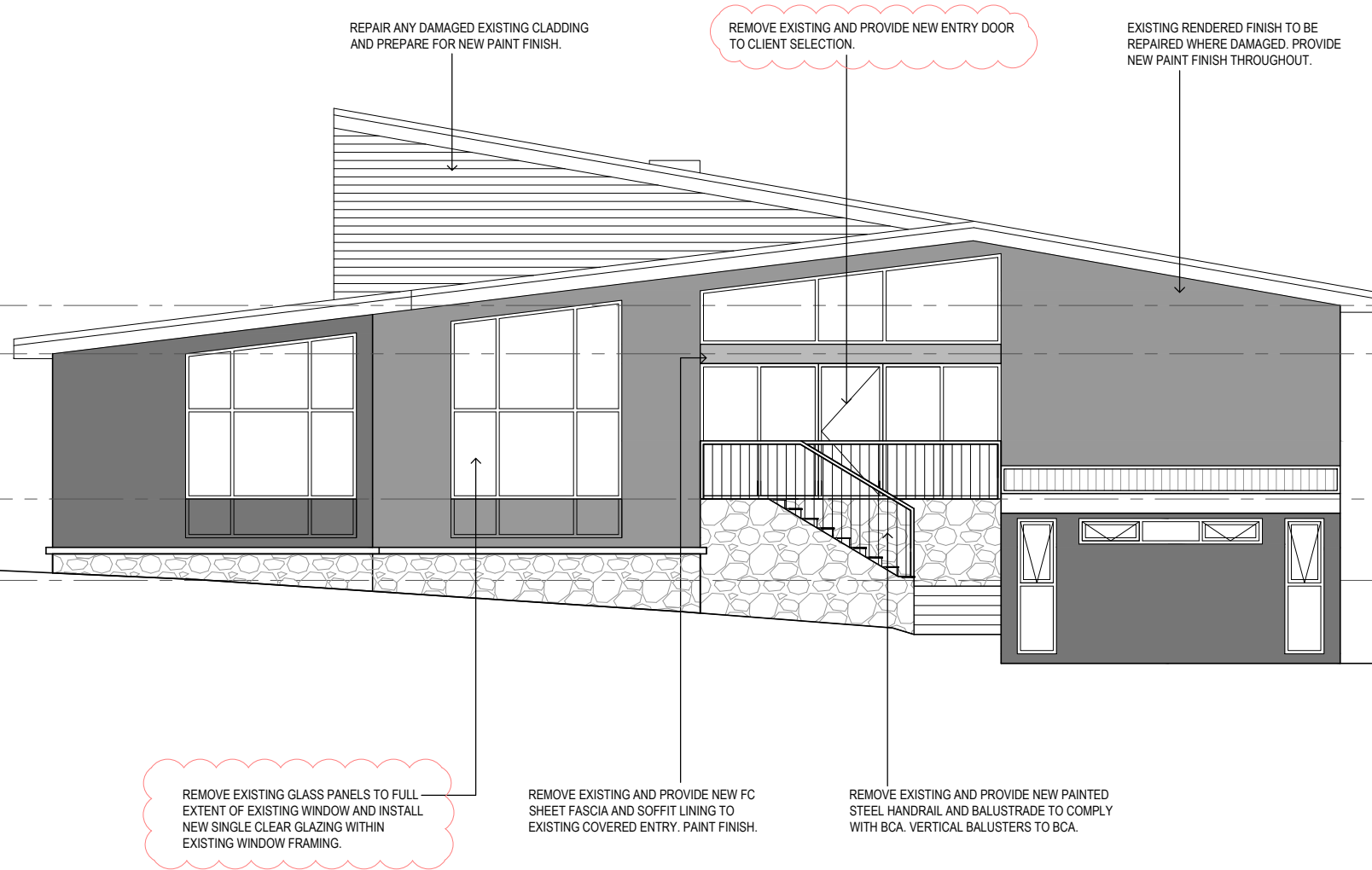
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- ② ALL GUTTERS TO BE REMOVED AND REPLACED WITH NEW TO MATCH EXISTING. PROVIDE LEAF GUARD TO ALL NEW GUTTER.
- ③ ALL WINDOWS TO BE REPLACED MUST BE MEASURED ON SITE PRIOR TO MANUFACTURE AND SHOP DRAWINGS MUST BE PROVIDED FOR APPROVAL PRIOR TO MANUFACTURE.



01

SOUTH - EAST ELEVATION

Client DONALD AND FLORA
Project 10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT
Project No: 1538

Drawing Title ELEVATIONS - SHEET 03
Scale 1:100(A3)
Drawn AL&CH

Project Architect AL&CH	Coord. Reviewed
Project Director .	Verified
Date 29.01.16	Approved
Drawing Number Rev	North
A203 P3	

Rev	Description	drawn	Date
P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
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P3	ISSUE FOR INFORMATION	AL&CH	29.01.16

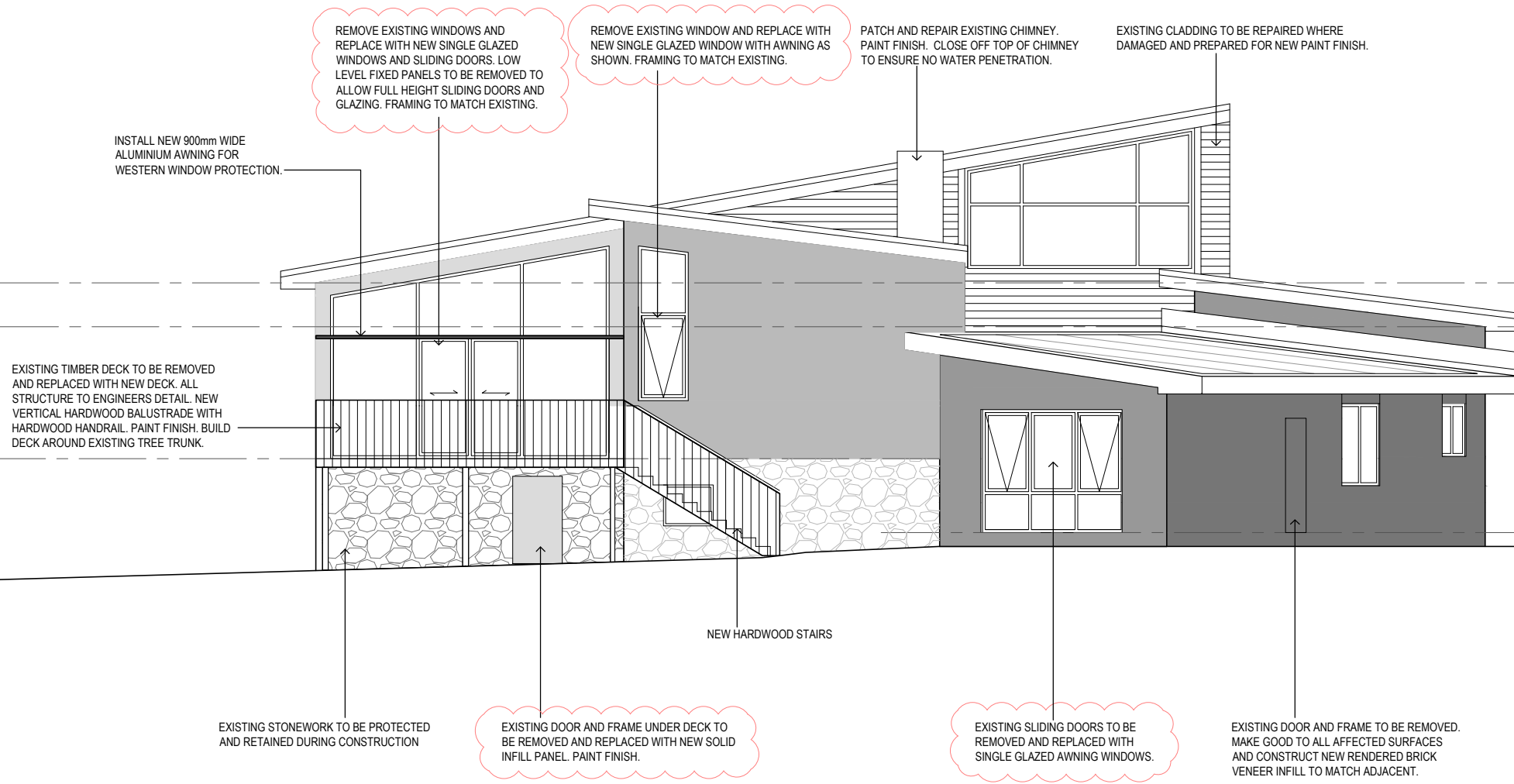
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- ② ALL GUTTERS TO BE REMOVED AND REPLACED WITH NEW TO MATCH EXISTING. PROVIDE LEAF GUARD TO ALL NEW GUTTER.
- ③ ALL WINDOWS TO BE REPLACED MUST BE MEASURED ON SITE PRIOR TO MANUFACTURE AND SHOP DRAWINGS MUST BE PROVIDED FOR APPROVAL PRIOR TO MANUFACTURE.



01 NORTH - WEST ELEVATION

Client DONALD AND FLORA
Project 10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT
Project No: 1538

Drawing Title ELEVATIONS - SHEET 04
Scale 1:100(A3)
Drawn AL&CH

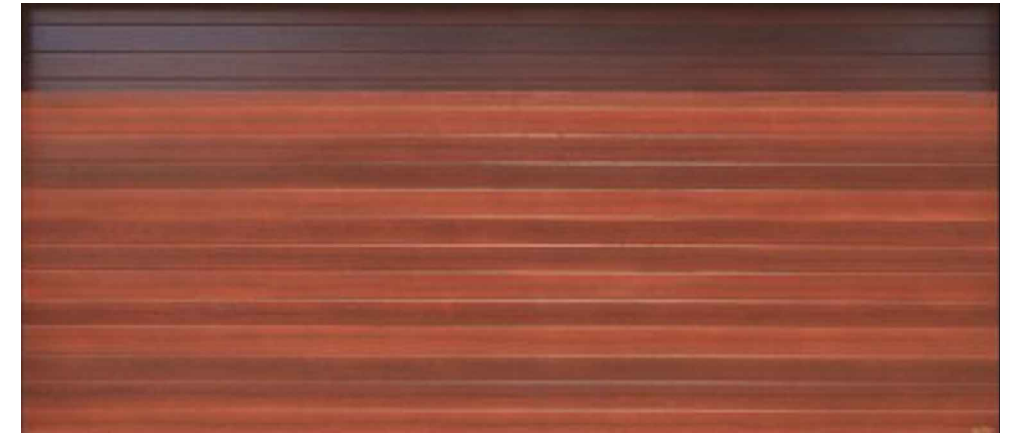
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A204 P3	

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P1	ISSUE FOR INFORMATION	AL&CH	18.12.15
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P3	ISSUE FOR INFORMATION	AL&CH	29.01.16

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TIMBER LOOK PANEL LIFT DOOR EXAMPLE FINISH



NEW ESTABLISHED HEDGING TO BE PLANTED TO STREET FRONTAGE BOUNDARY. HEDGING TO BE EQUAL TO 'SPARTAN' JUNIPER - NOMINALLY 1.8m HIGH.

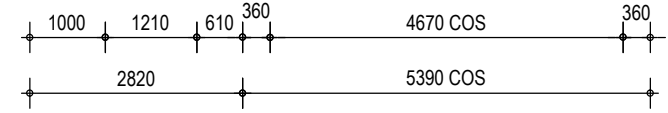
PROVIDE NEW RENDERED BRICK PIER TO SIDE OF GATES AT NOMINAL 1850mm HEIGHT. ENSURE HEIGHT OF PIER MATCHES ADJACENT GATE AND AUTOMATIC GATES TO CARPORT. PAINT FINISH TO MATCH RESIDENCE.

PROVIDE NEW SECURE ENTRY GATE AND SIDE FENCE TO ALIGN WITH FRONT OF EXISTING CARPORT. GATES TO BE PAINTED STEEL WITH VERTICAL 70mm X 10mm THICK (NOMINAL) BLADES AT 50mm SPACING. CHECK ALL DIMENSIONS ON SITE PRIOR TO MANUFACTURE.

EXISTING CARPORT TO REMAIN. PROVIDE NEW PAINT FINISH TO FASCIA AND RENDERED BRICK COLUMNS. PAINT FINISH TO MATCH RESIDENCE. INSTALL NEW LIGHTING TO UNDERSIDE OF EXISTING ROOF STRUCTURE. PROVIDE POWER FOR NEW AUTOMATIC PANEL LIFT DOOR.

PROVIDE NEW AUTOMATIC OPENING PANEL LIFT DOOR TO FRONT OF EXISTING CARPORT. PANEL LIFT DOOR TO HAVE TIMBER LOOK FINISH. CHECK ALL DIMENSIONS ON SITE PRIOR TO MANUFACTURE.

01 CARPORT / STREET FRONT ELEVATION



Client DONALD AND FLORA
Project 10 MELBOURNE AVENUE RESIDENCE REFURBISHMENT
Project No: 1538

Drawing Title ELEVATION STREET FRONTAGE
Scale 1:100(A3)
Drawn AL&CH

Project Architect AL&CH	Coord. Reviewed
Project Director .	Verified
Date 09.02.16	Approved
Drawing Number Rev	North ○
A205 P4	

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P3	ISSUE FOR INFORMATION	AL&CH	29.01.16
P4	ISSUE FOR INFORMATION	AL&CH	09.02.16

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